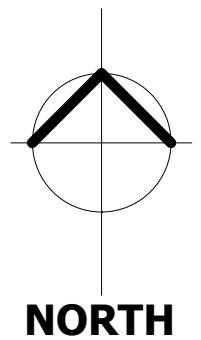


BUILDING ENVELOPE PLAN FOR PROPOSED DEVELOPEMENT




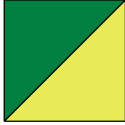
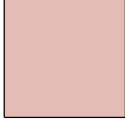

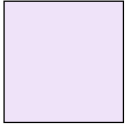
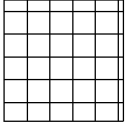
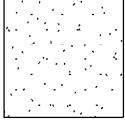

Sheet List

Sheet Name	Sheet Number	Current Revision
Building Envelope Plan Cover Sheet	CD01	A
Building Envelope Plan Master Layout	CD02	A
Lot 1 Building Envelope Plan	CD03	A
Lot 2 Building Envelope Plan	CD04	A
Lot 3 Building Envelope Plan	CD05	A
Lot 4 Building Envelope Plan	CD06	A
Lot 5 Building Envelope Plan	CD07	A
Lot 6 Building Envelope Plan	CD08	A
Lot 7 Building Envelope Plan	CD09	A
Lot 8 Building Envelope Plan	CD10	A



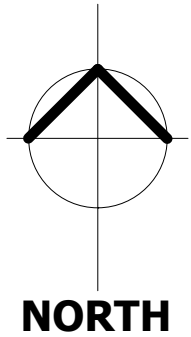
APPROVAL

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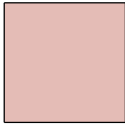

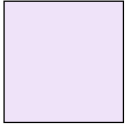
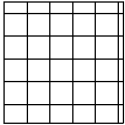
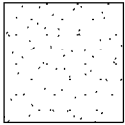

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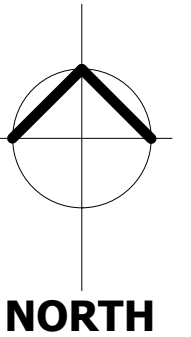
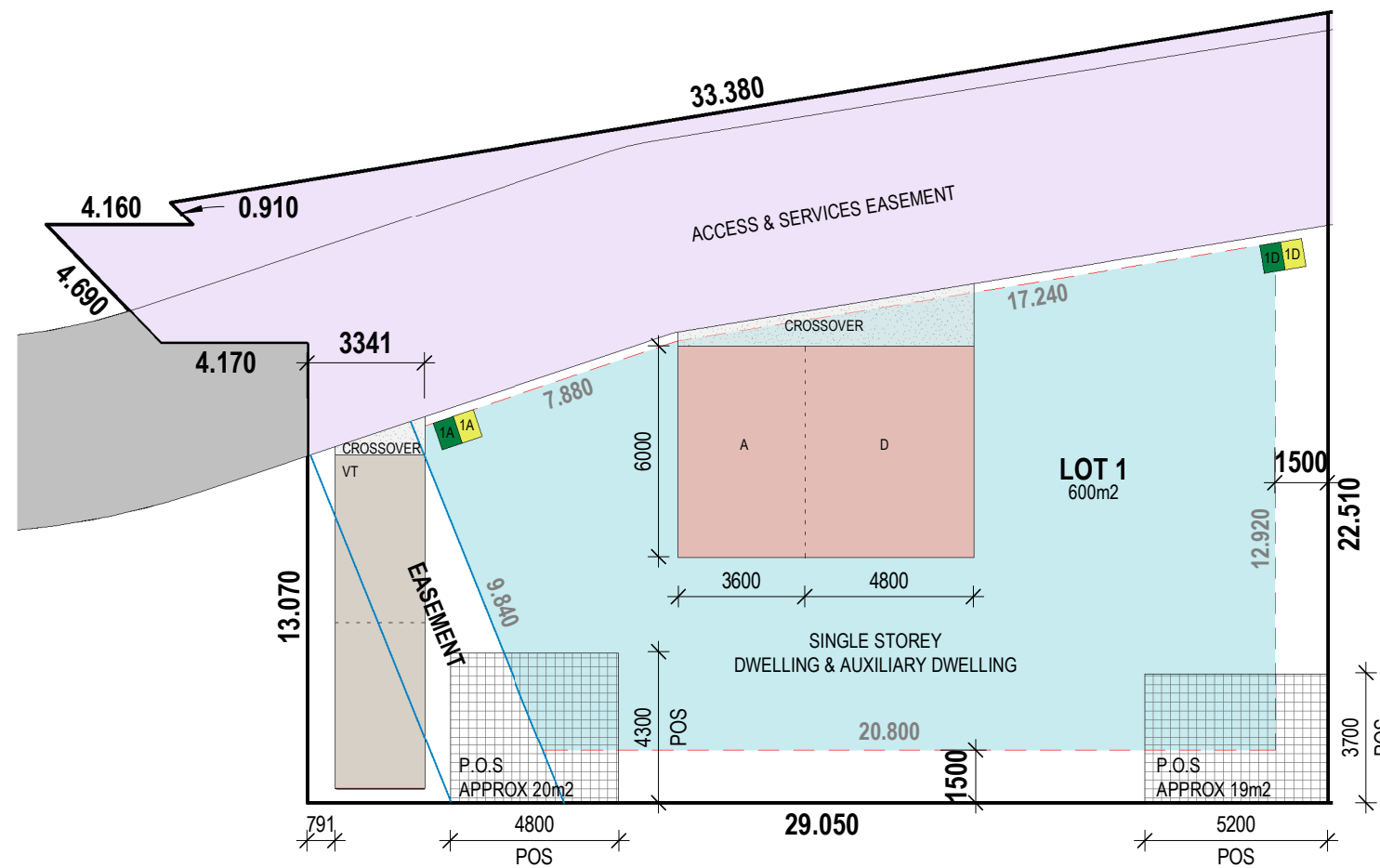
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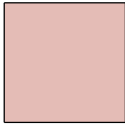

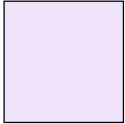
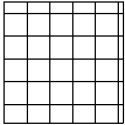
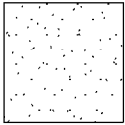

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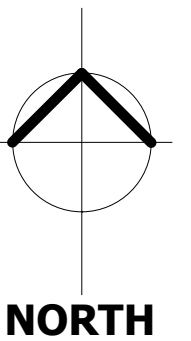
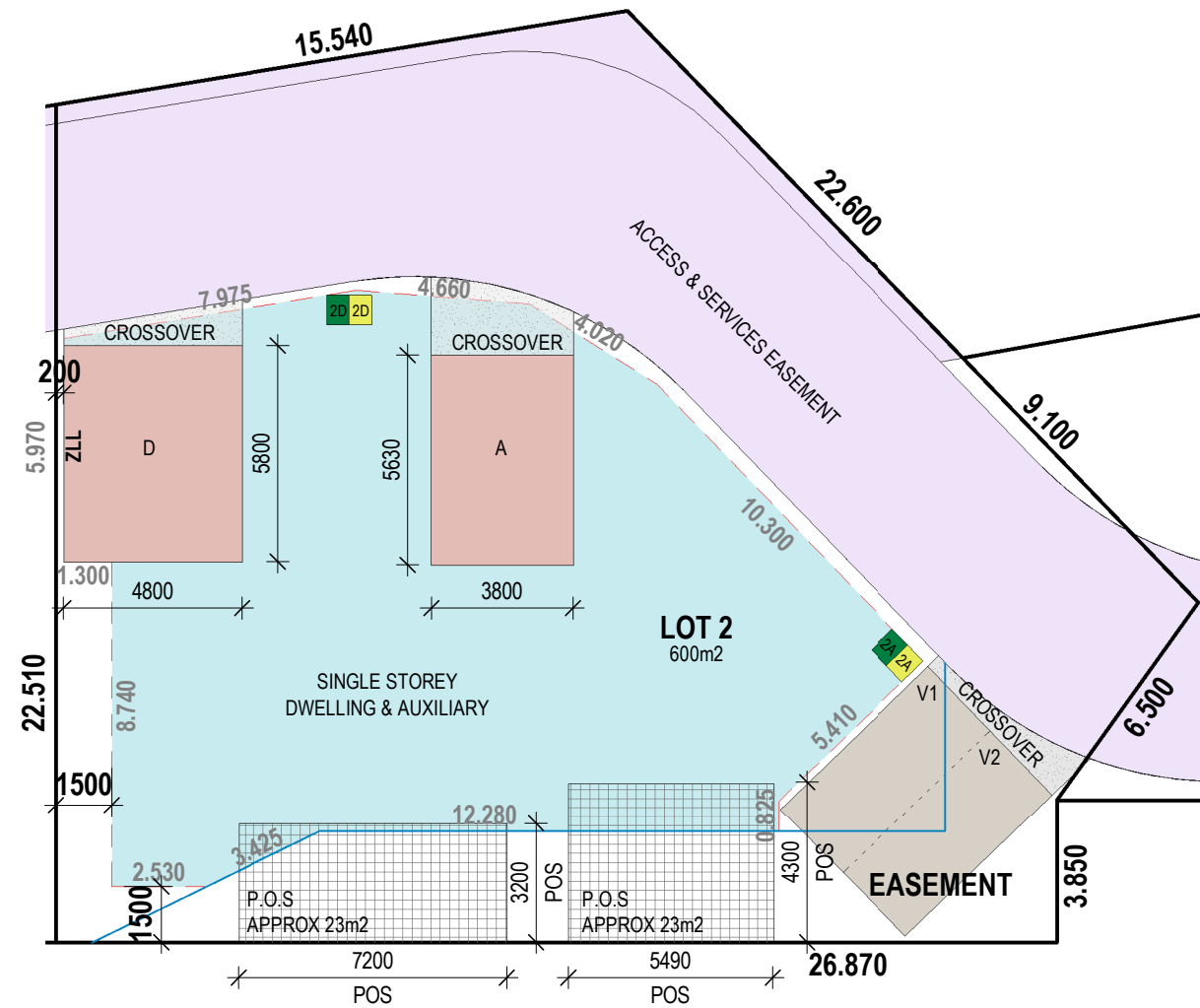
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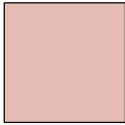

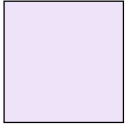
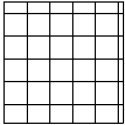
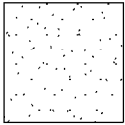

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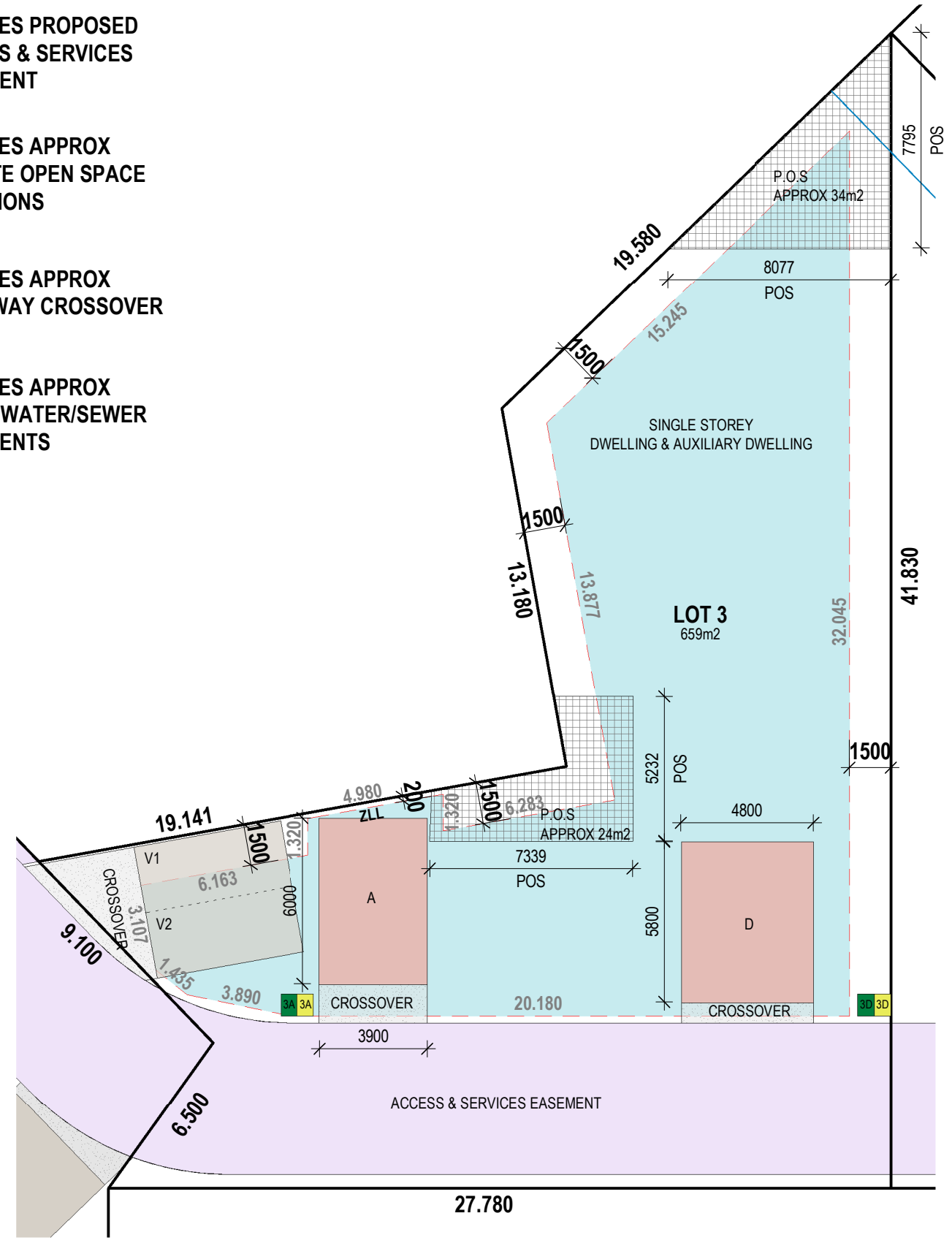
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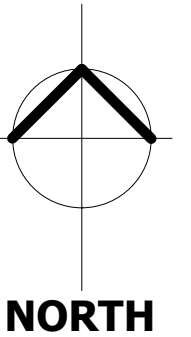
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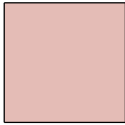

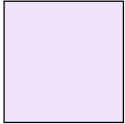
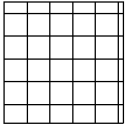
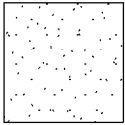

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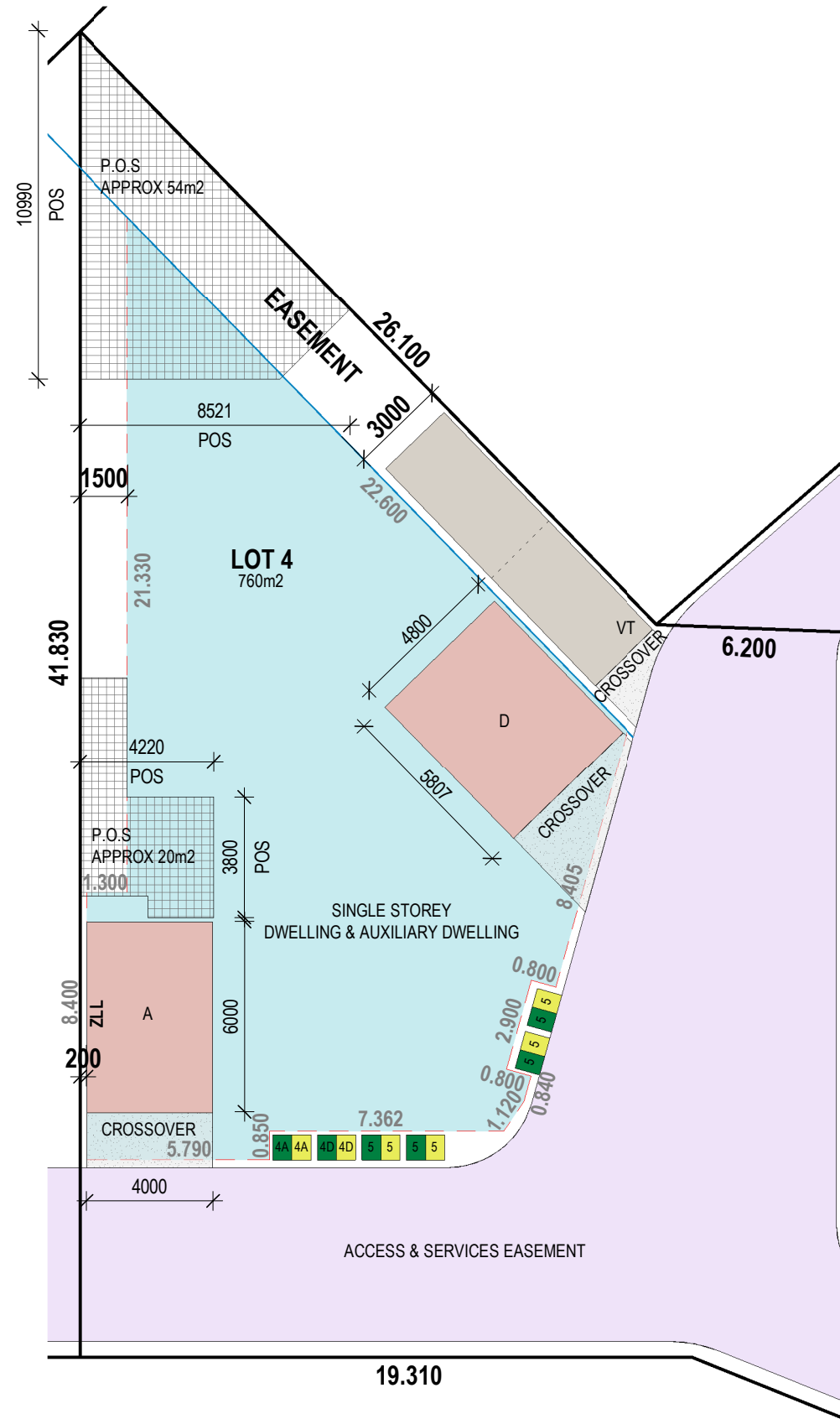
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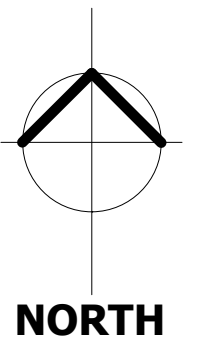
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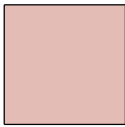
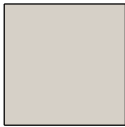
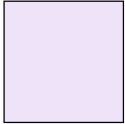
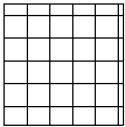
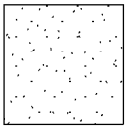

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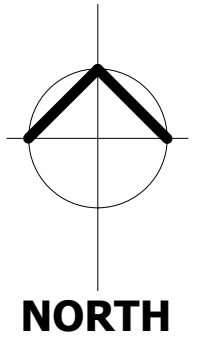
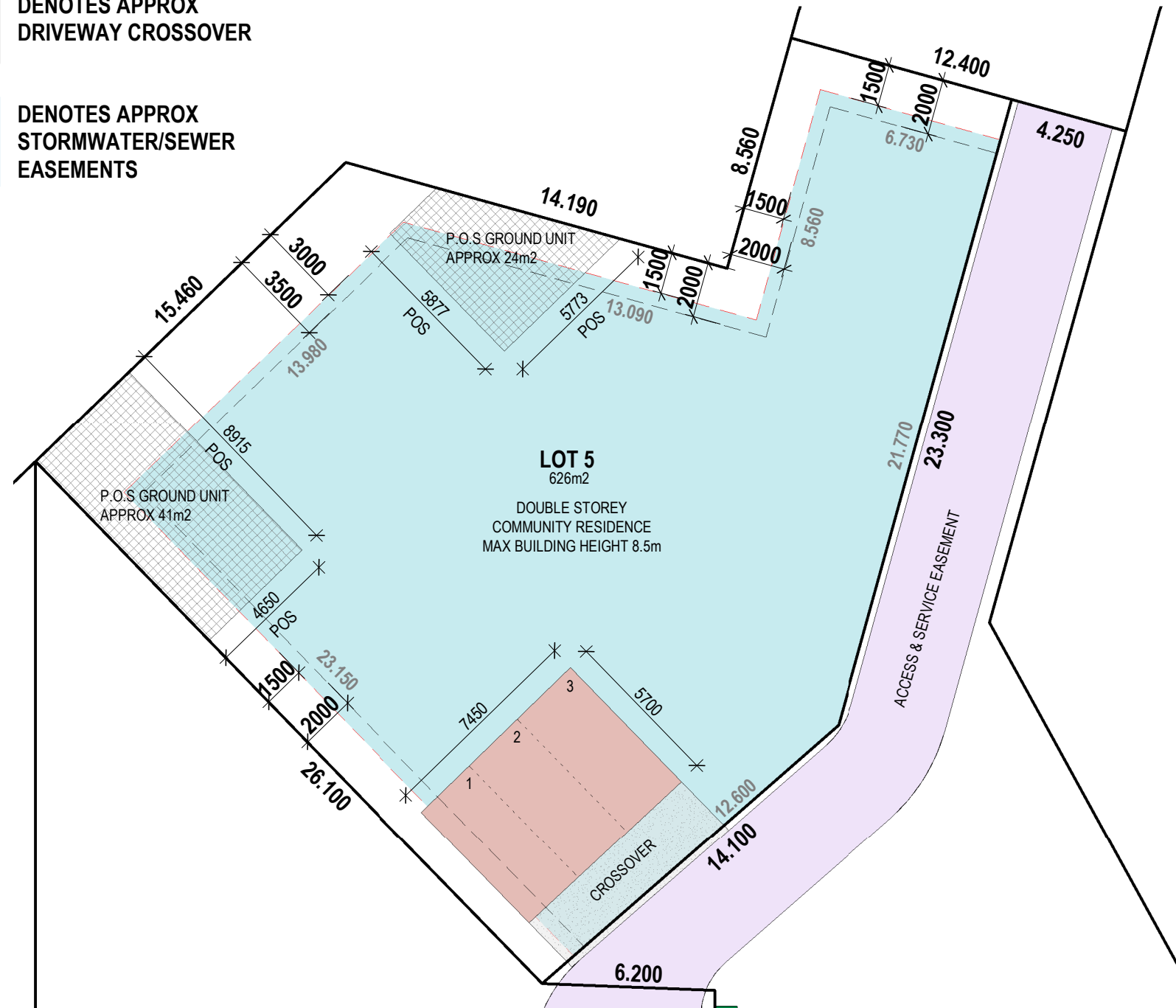
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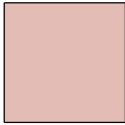

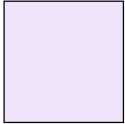
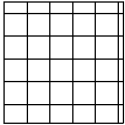
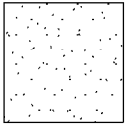

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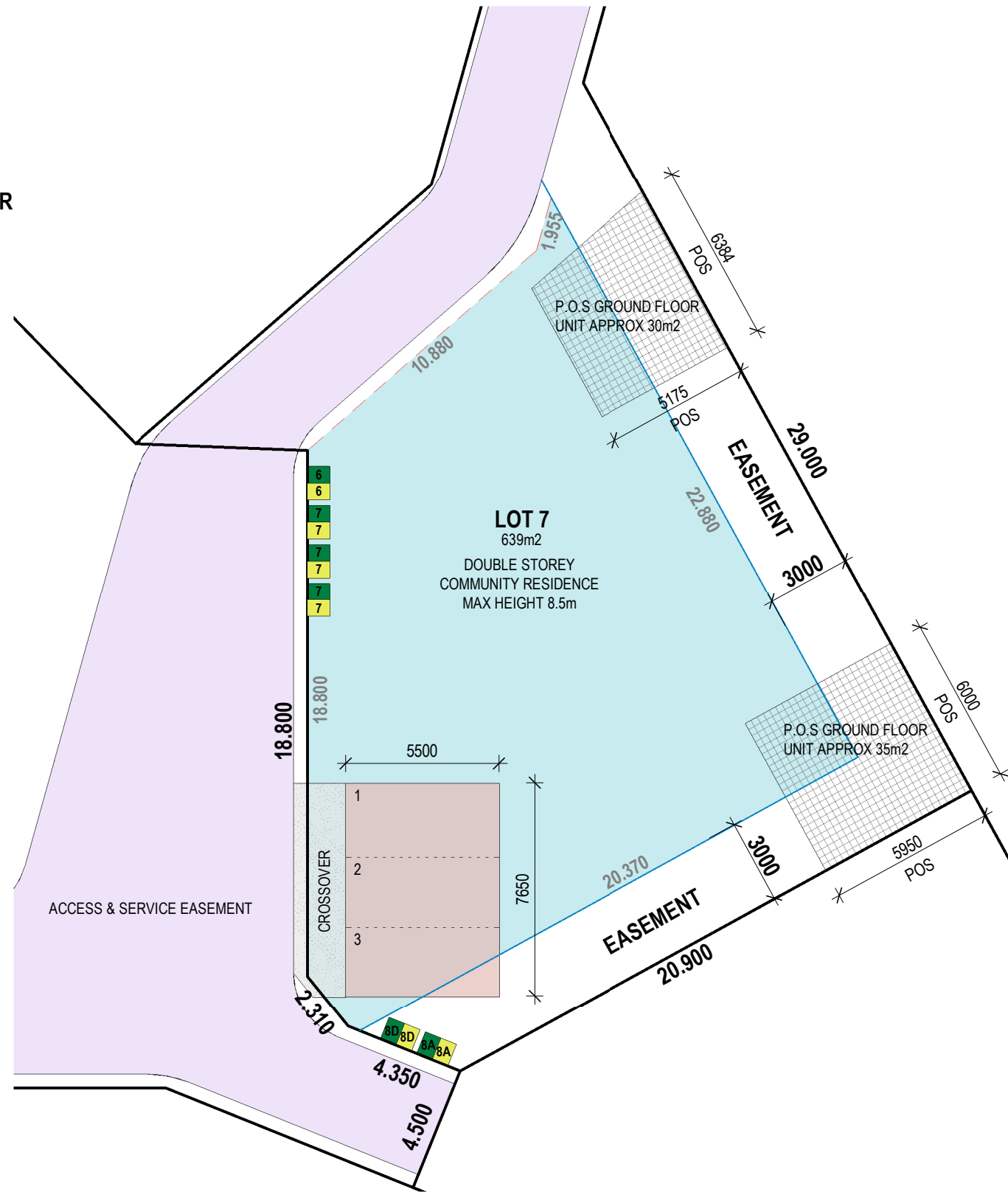
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Project: 23 Patrick Court Waterford West
Client: SDA Providers Pty Ltd
Drawing Title: Lot 5 Building Envelope Plan

Date: 4 April 2022 **Job no:** Q21_035
Design: km **Drawn:** km **Approved:** km
Drawing no: CD07 **Rev:** A

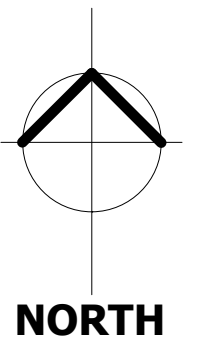
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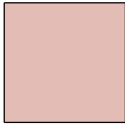

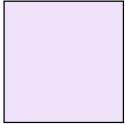
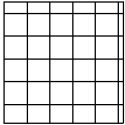
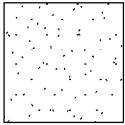

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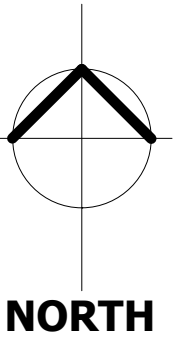
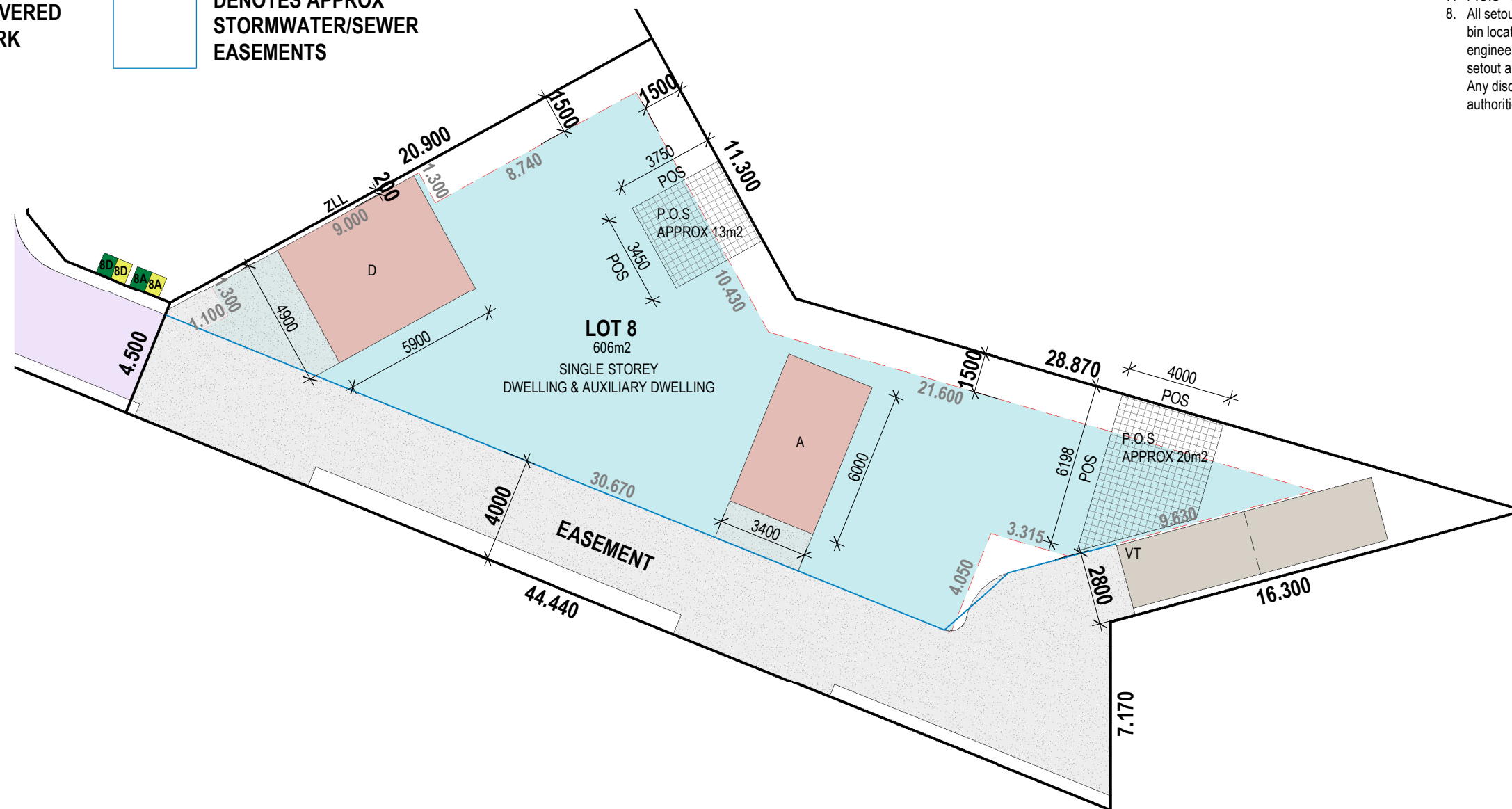
APPROVAL

LEGEND

-  DENOTES MAXIMUM BUILDING ENVELOPE
-  DENOTES APPROX BIN LOCATIONS
-  DENOTES COVERED CAR PARK
-  DENOTES UN-COVERED VISITOR CAR PARK
-  DENOTES PROPOSED ACCESS & SERVICES EASEMENT
-  DENOTES APPROX PRIVATE OPEN SPACE LOCATIONS
-  DENOTES APPROX DRIVEWAY CROSSOVER
-  DENOTES APPROX STORMWATER/SEWER EASEMENTS

NOTES:

1. Other than approved by this Building Envelope Plan (BEP) all Dual Occupancy (Auxiliary Dwelling) must comply with the provisions of QDC MP1.3 and Dwelling House Code.
2. Other than approved by this BEP all Community Residence outcomes must comply with the Planning Regulation (QLD) 2017 provisions.
3. All dimensions are measured to the face of the wall unless otherwise specified in this BEP.
4. Zero Lot Lines are permitted in accordance with QDC MP1.2 for Class 10a non-habitable spaces where the height does not exceed a mean height of 3.5m and the total length is not greater than 12.0m.
5. Zero lot line structures are to comply with the requirements of the National Construction Codes as required.
6. Car parking provisions are nominated as follows:
 - D = main dwelling covered car park
 - DT = main dwelling tandem covered car park
 - A = auxiliary dwelling covered car park
 - V = visitor uncovered car park 2400mm x 5400mm
 - VT = visitor tandem uncovered car park 2400mm x 9800mm
 Note locations may vary subject to house designs.
7. P.O.S - Private open space provisions nominated on plans.
8. All setback dimensions, setback dimensions, access easements and bin locations are approximate only and subject to detailed engineering design. A registered surveyor must be engaged to setout all services, boundary alignments and access easements. Any discrepancy must be assessed and approved by the relevant authorities.



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Project: 23 Patrick Court Waterford West
Client: SDA Providers Pty Ltd
Drawing Title: Lot 8 Building Envelope Plan

Date: 4 April 2022 **Job no:** Q21_035
Design: km **Drawn:** km **Approved:** km
Drawing no: CD10 **Rev:** A