BUILDING ENVELOPE PLAN FOR PROPOSED DEVELOPEMENT



Sheet List		
Sheet Name	Sheet Number	Current Revision
Building Envelope Plan Cover Sheet	CD01	A
Building Envelope Plan Master Layout	CD02	A
Lot 1 Building Envelope Plan	CD03	Α
Lot 2 Building Envelope Plan	CD04	Α
Lot 3 Building Envelope Plan	CD05	Α
Lot 4 Building Envelope Plan	CD06	Α
Lot 5 Building Envelope Plan	CD07	Α
Lot 6 Building Envelope Plan	CD08	Α
Lot 7 Building Envelope Plan	CD09	Α
Lot 8 Building Envelope Plan	CD10	Α





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Project: 23 Patrick Court Waterford West

SDA Providers Pty Ltd

Client: **Drawing Title:** Building Envelope Plan Cover Sheet **Date:** 4 April 2022

Job no: Q21_035

Design:km

Drawn:km Approved: km

Drawing no: CD01 Rev: A

NOTES: **LEGEND** 1. Other than approved by this Building Envelope Plan (BEP) all Dual Occupancy (Auxiliary Dwelling) must comply with the provisions of QDC MP1.3 and Dwelling House Code. **DENOTES PROPOSED DENOTES MAXIMUM** 2. Other than approved by this BEP all Community Residence **ACCESS & SERVICES** outcomes must comply with the Planning Regulation (QLD) **BUILDING ENVELOPE EASEMENT** 2017 provisions. 3. All dimensions are measured to the face of the wall unless otherwise specified in this BEP. 4. Zero Lot Lines are permitted in accordance with QDC MP1.2 **DENOTES APPROX** for Class 10a non-habitable spaces where the height does **DENOTES APPROX** PRIVATE OPEN SPACE not exceed a mean height of 3.5m and the total length is not LOT 6 **BIN LOCATIONS** greater then 12.0m. **LOCATIONS** 5. Zero lot line structures are to comply with the requirements of the National Construction Codes as required. 6. Car parking provisions are nominated as follows: SINGLE STOREY • D = main dwelling covered car park **DENOTES COVERED DENOTES APPROX** • DT = main dwelling tandem covered car park DRIVEWAY CROSSOVER **CAR PARK** • A = auxiliary dwelling covered car park • V = visitor uncovered car park 2400mm x 5400mm • VT = visitor tandem uncovered car park 2400mm x 9800mm Note locations may vary subject to house designs 7. P.O.S - Private open space provisions nominated on plans. **DENOTES APPROX DENOTES UN-COVERED** 8. All setout dimensions, setback dimensions, access easements and STORMWATER/SEWER bin locations are approximate only and subject to detailed **VISITOR CAR PARK EASEMENTS** engineering design. A regisetered surveyor must be engaged to setout all services, boundary alingments and access easements. Any discrepency must be assessed and approved by the relevant LOT 5 DOUBLE STOREY SINGLE STOREY LOT 4 LOT 7 LOT 3 DOUBLE STOREY COMMUNITY RESIDENCE ACCESS & SERVICES EASEMENT SINGLE STOREY WELLING & AUXILIAR **ROAD** LOT 1 LOT 2 **PATRICK** ACCESS & SERVICES EASEMENT SINGLE STOREY



COURT

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Lic no: 1058378 ABN: 68 298 409 309

SINGLE STOREY

DWELLING & AUXILIARY

P.O.S

P.Q.S

23 Patrick Court Waterford West Project: Client:

27.780

SDA Providers Pty Ltd

Drawing Title: Building Envelope Plan Master Layout

Date: 13 December 2021

SINGLE STOREY P.O.S

LOT 8

Job no: Q21 035

NORTH

APPROVA

Design:km Drawn:km

Approved: km

CD02 Drawing no: Rev: A

DWELLING & AUXILIAR

P.O.S 26.870 P.O.S



DENOTES MAXIMUM BUILDING ENVELOPE



DENOTES PROPOSED ACCESS & SERVICES EASEMENT



DENOTES APPROX BIN LOCATIONS



DENOTES APPROX PRIVATE OPEN SPACE **LOCATIONS**



DENOTES COVERED CAR PARK



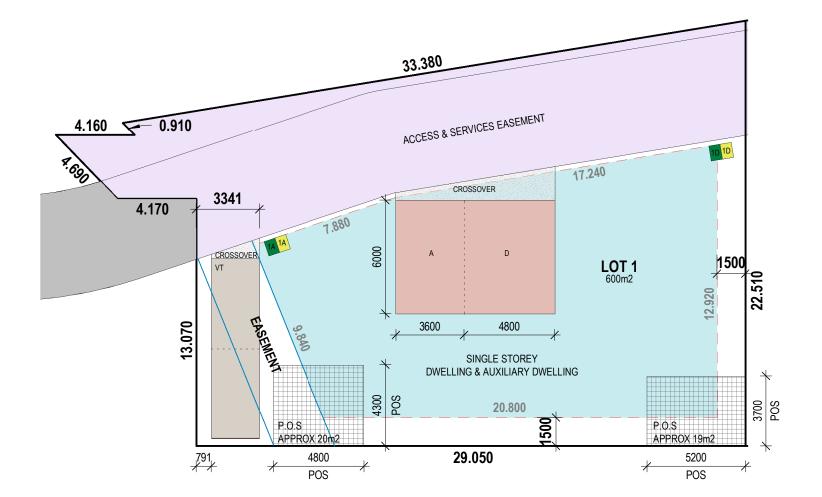
DENOTES APPROX DRIVEWAY CROSSOVER



DENOTES UN-COVERED VISITOR CAR PARK



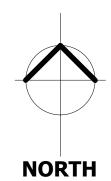
DENOTES APPROX STORMWATER/SEWER **EASEMENTS**



NOTES:

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- 4. Zero Lot Lines are permitted in accordance with QDC MP1.2 for Class 10a non-habitable spaces where the height does not exceed a mean height of 3.5m and the total length is not greater then 12.0m.
- 5. Zero lot line structures are to comply with the requirements of the National Construction Codes as required.
- 6. Car parking provisions are nominated as follows:
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 - DT = main dwelling tandem covered car park
 - A = auxiliary dwelling covered car park

 - V = visitor uncovered car park 2400mm x 5400mm
- VT = visitor tandem uncovered car park 2400mm x 9800mm Note locations may vary subject to house designs
- 7. P.O.S Private open space provisions nominated on plans.
- 8. All setout dimensions, setback dimensions, access easements and bin locations are approximate only and subject to detailed engineering design. A regisetered surveyor must be engaged to setout all services, boundary alingments and access easements. Any discrepency must be assessed and approved by the relevant



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Design:km

Drawn:km



DENOTES MAXIMUM
BUILDING ENVELOPE



DENOTES PROPOSED ACCESS & SERVICES EASEMENT



DENOTES APPROX BIN LOCATIONS



DENOTES APPROX
PRIVATE OPEN SPACE
LOCATIONS



DENOTES COVERED CAR PARK



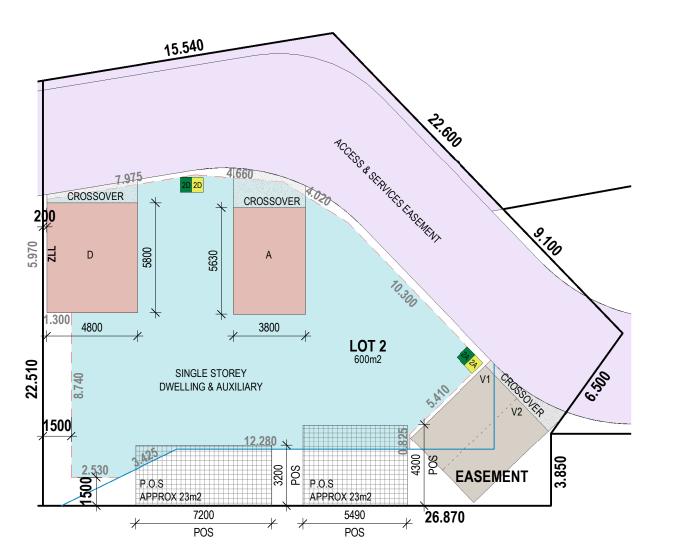
DENOTES APPROX
DRIVEWAY CROSSOVER



DENOTES UN-COVERED VISITOR CAR PARK

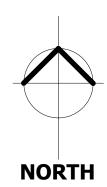


DENOTES APPROX STORMWATER/SEWER EASEMENTS



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Lic no: 1058378 ABN: 68 298 409 309

Drawing no: CD04



DENOTES MAXIMUM BUILDING ENVELOPE



DENOTES PROPOSED ACCESS & SERVICES EASEMENT



DENOTES APPROX BIN LOCATIONS



DENOTES APPROX PRIVATE OPEN SPACE **LOCATIONS**



DENOTES COVERED CAR PARK



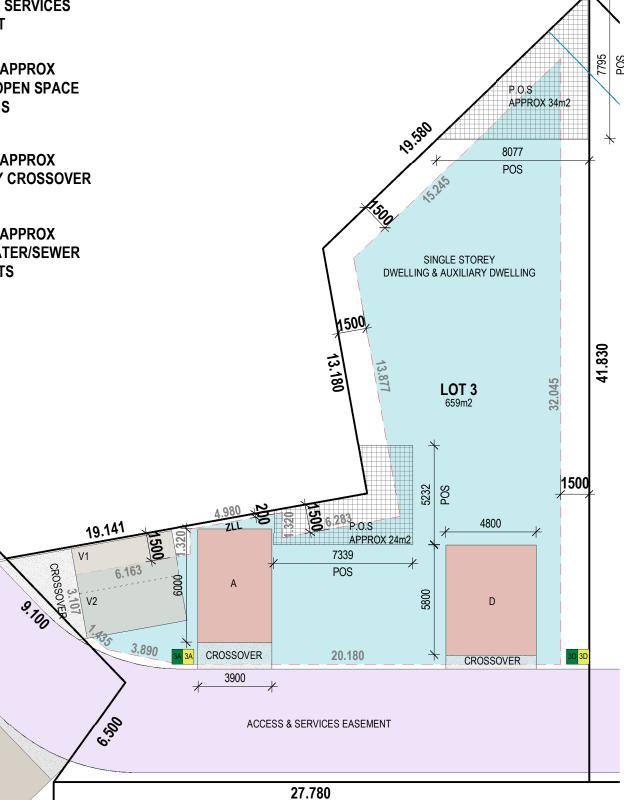
DENOTES APPROX DRIVEWAY CROSSOVER



DENOTES UN-COVERED VISITOR CAR PARK

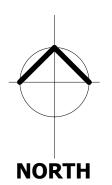


DENOTES APPROX STORMWATER/SEWER **EASEMENTS**



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23 Patrick Court Waterford West Project:

SDA Providers Pty Ltd Client:

Drawing Title: Lot 3 Building Envelope Plan

Date: 4 April 2022

Drawing no: CD05

Design:km

Job no: Q21 035

Drawn:km

Approved: km

Rev: A



DENOTES MAXIMUM
BUILDING ENVELOPE



DENOTES PROPOSED ACCESS & SERVICES EASEMENT



DENOTES APPROX BIN LOCATIONS



DENOTES APPROX PRIVATE OPEN SPACE LOCATIONS



DENOTES COVERED CAR PARK



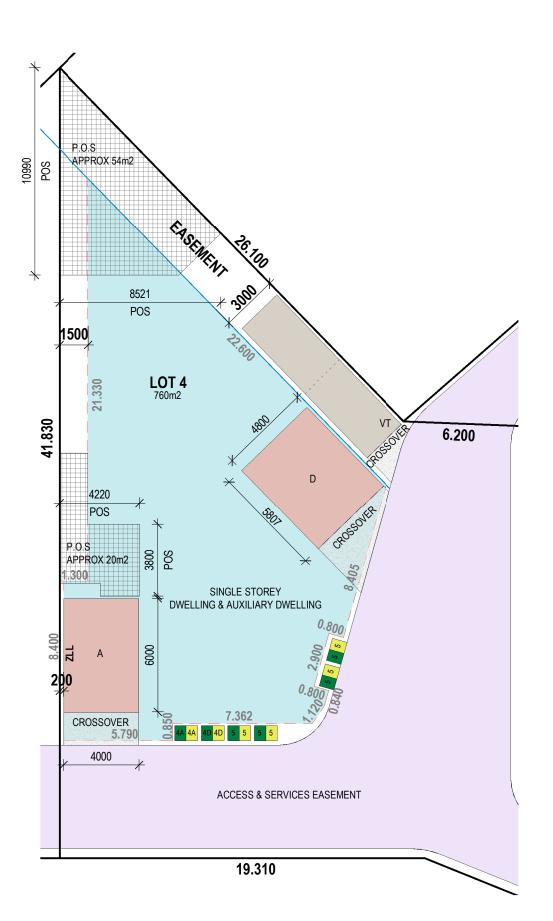
DENOTES APPROX DRIVEWAY CROSSOVER



DENOTES UN-COVERED VISITOR CAR PARK

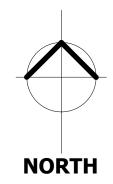


DENOTES APPROX STORMWATER/SEWER EASEMENTS



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ABN: 68 298 409 309

Project: 23 Patrick Court Waterford West

Client: SDA Providers Pty Ltd

Drawing Title: Lot 4 Building Envelope Plan

Date: 4 April 2022

Job no: Q21_035

Design:km

Drawn:km

Approved: km

Drawing no: CD06 Rev: A



DENOTES MAXIMUM
BUILDING ENVELOPE



DENOTES PROPOSED ACCESS & SERVICES EASEMENT



DENOTES APPROX
BIN LOCATIONS



DENOTES APPROX
PRIVATE OPEN SPACE
LOCATIONS



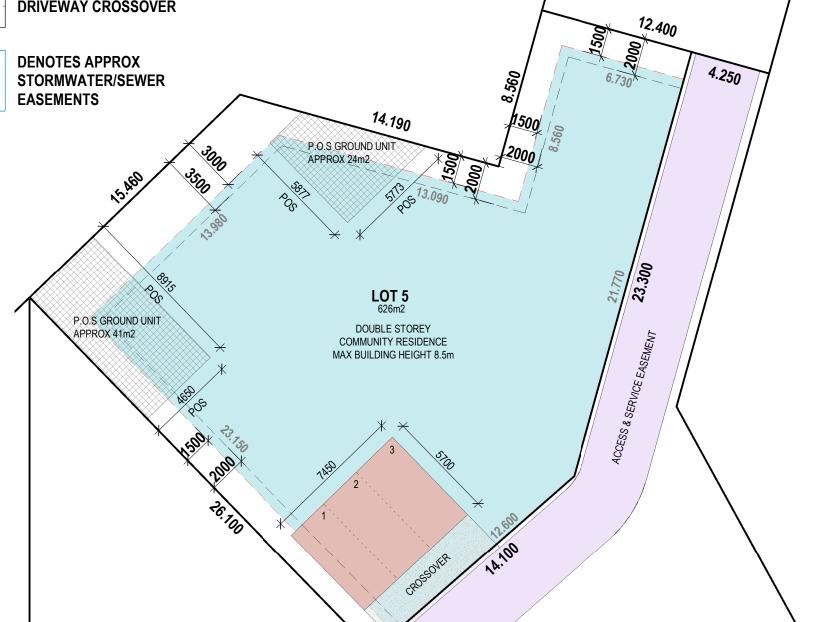
DENOTES COVERED CAR PARK



DENOTES APPROX
DRIVEWAY CROSSOVER



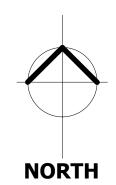
DENOTES UN-COVERED VISITOR CAR PARK



6.200

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Project: 23 Patrick Court Waterford West

Client: SDA Providers Pty Ltd

Drawing Title: Lot 5 Building Envelope Plan

Date: 4 April 2022

Drawing no: CD07

Design:km

Job no: Q21_035

Drawn:km

n:km Approved:km

Rev: A



DENOTES MAXIMUM BUILDING ENVELOPE



DENOTES PROPOSED ACCESS & SERVICES EASEMENT



DENOTES APPROX BIN LOCATIONS



DENOTES APPROX PRIVATE OPEN SPACE **LOCATIONS**



DENOTES COVERED CAR PARK



DENOTES APPROX DRIVEWAY CROSSOVER



DENOTES UN-COVERED VISITOR CAR PARK

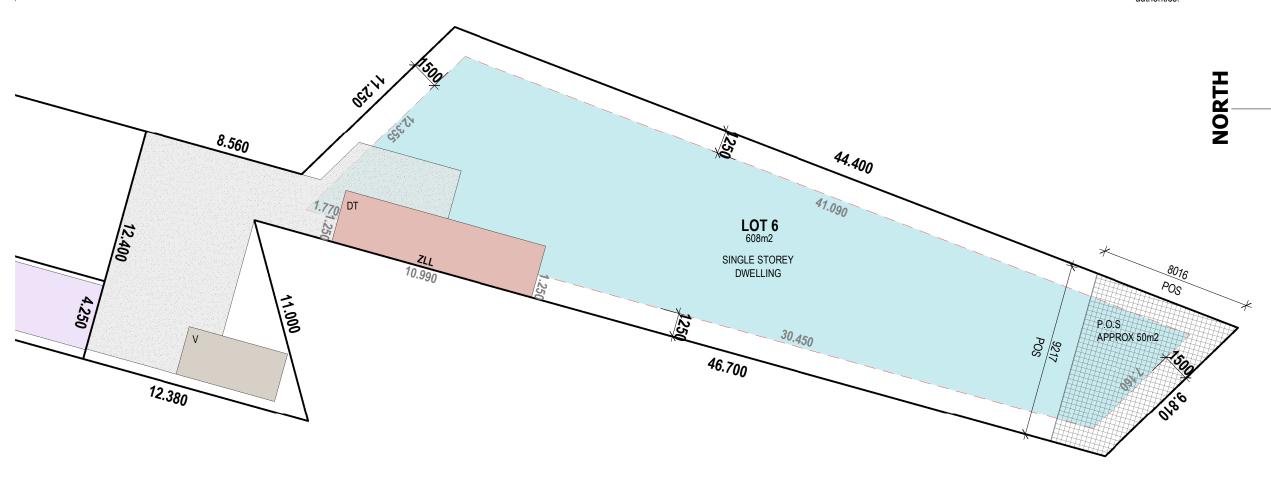


DENOTES APPROX STORMWATER/SEWER **EASEMENTS**



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Project:

Client:

23 Patrick Court Waterford West

SDA Providers Pty Ltd

Drawing Title: Lot 6 Building Envelope Plan

Date: 4 April 2022

Job no: Q21 035

Design:km

Approved: km

APPROVAL

Drawing no: CD08

Drawn:km

Rev: A



DENOTES MAXIMUM BUILDING ENVELOPE



DENOTES PROPOSED ACCESS & SERVICES EASEMENT



DENOTES APPROX BIN LOCATIONS



DENOTES APPROX PRIVATE OPEN SPACE **LOCATIONS**



DENOTES COVERED CAR PARK



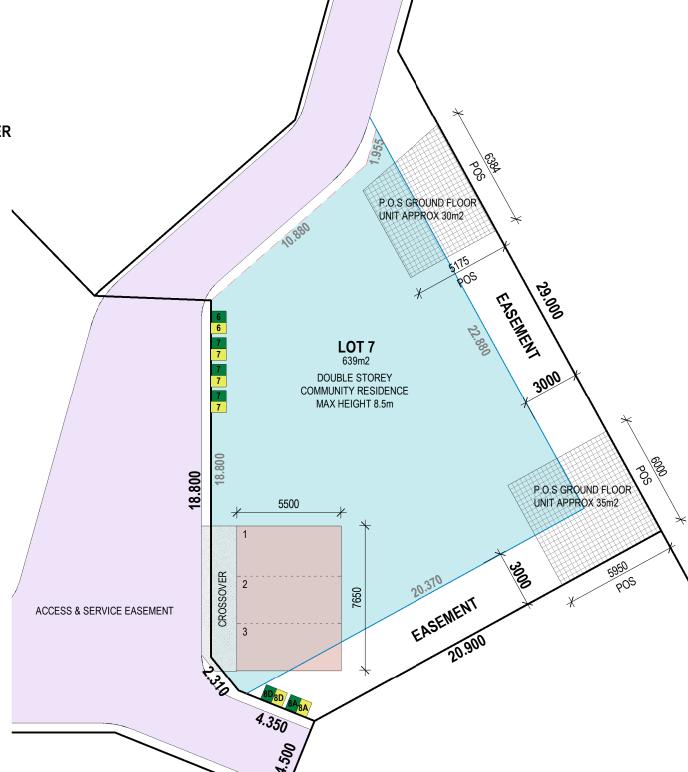
DENOTES APPROX DRIVEWAY CROSSOVER



DENOTES UN-COVERED VISITOR CAR PARK



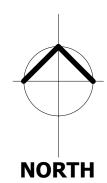
DENOTES APPROX STORMWATER/SEWER **EASEMENTS**



Client:

NOTES:

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DENOTES MAXIMUM BUILDING ENVELOPE



DENOTES PROPOSED ACCESS & SERVICES EASEMENT



DENOTES APPROX BIN LOCATIONS



DENOTES APPROX PRIVATE OPEN SPACE **LOCATIONS**



DENOTES COVERED CAR PARK



DENOTES APPROX DRIVEWAY CROSSOVER



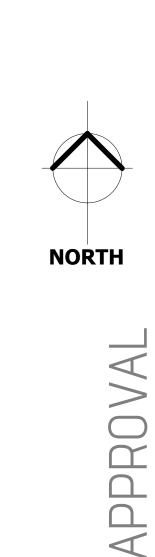
DENOTES UN-COVERED VISITOR CAR PARK

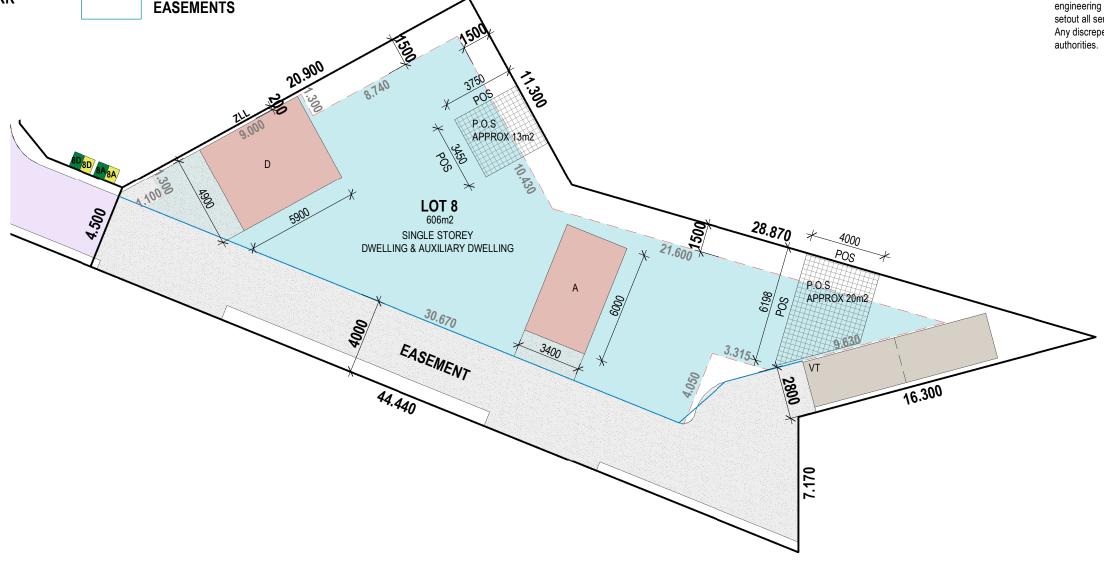




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Project: 23 Patrick Court Waterford West

SDA Providers Pty Ltd Client: Drawing Title: Lot 8 Building Envelope Plan **Date:** 4 April 2022

Job no: Q21 035

Drawing no: CD10

Design:km

Drawn:km

Rev: A

Approved: km