

Project:
Construction Documentation (Holiday Inn)

Location:
2 Rich St, Stanthorpe

Client:
Client Name

Project Address

Project Description

Lot 02 on RP .71708
Local Gov: Southern Downs Regional Council
Zoning: Residential
Site Area: 3976sqm
Frontage: 81.45m
Proposed Site Cover: 1155.69sqm (29.06%)
Deep Planting: ---sqm (---%)
Private Open Space: ---sqm

Max. Building Height: 3m

Crossover Width: 6m

Parking

Resident Parks: 26
Visitor Parks: 5
Total car spaces: 31



GENERAL BUILDING NOTES:

1. This building is to comply with the building Act 1975, the building regulations and "Building Code Australia" Volume 2
2. Figured dimensions on all working drawings shall be given preference to scaled dimensions.
3. Boundary clearances are to outermost projection (o.m.p).
4. Stair to comply with B.C.A. Volume 2
5. Handrails / Balustrades to comply with B.C.A. Volume 2
6. W.C doors to comply with functional statements of B.C.A. Volume 2
7. All wet areas to comply with B.C.A. Volume 2
8. Lighting to comply with B.C.A. Volume 2
9. Ventilation to comply with B.C.A. Volume 2
10. Reinforced concrete slab and footings shall be in accordance with engineers specification.
11. Finished slab height to be a minimum of 250mm above adjacent ground line.
12. Termite treatment under slab to comply with B.C.A Volume 2
13. Slab mesh shall be supported by chairs or metal discs as per engineers specification.
14. Polythene moisture barrier shall be lapped 200mm and fully taped under concrete slab.
15. All framing shall be seasoned softwood. Stress grade F5 unless noted otherwise. (Studs at 600cts unless noted otherwise).
16. Masonary construction to comply with of the B.C.A Volume 2
17. All steelwork to be shop primed (all fixing bolts to be hto dipped galvanised).
18. Aluminium windows and sliding doors shall comply with AS 1288/94 and be fixed in accordance with manufactures specification.
19. Wall linings shall be 6mm villaboard to bathroom/s 10mm water resistance plasterboard to laundry and 10mm plasterboard to all other wall areas. Ceiling lining to be 13mm plasterboard.
20. Sheet metal roof covering to comply with manufactures specification.
21. Anti-glare sarking to be provided behind external f.c. cladding.
22. Hot Water System to be positioned 40mm (min) clear of external wall.
23. Smoke Detectors to be positioned in accordance with the B.C.A Volume 2 positions nominated are indicative only.

FIRE RATING REQUIREMENTS:

External loadbearing walls 1.5m to <3.0m 90/60/60, 3.0m or more 90/60/30
Dividing/bounding loadbearing walls 90/90/90, non LB -/60/60
Bounding public corridors 90/90/90, non LB -/60/60
Stair shafts 90/90/90 non LB -/90/90.
Doors to units -/60/30 self closing fire doors
Floor dividing carpark from units to be 120/120/120
Floor dividing unit-unit to be 90/90/90.

SOUND RATING TO WALLS AND FLOORS:

Floor that separates carparking from units and units from units Rw + Ctr (airborne) not less than 50 and an Ln +C1 (impact) not more than 62.
Dividing walls of Habitable rooms to habitable rooms Rw +Ctr (airborne) not less than 50
Dividing walls of Habitable rooms- to non habitable Rw + Ctr not less than 50 plus impact sound insulation (Discontinuous Construction F5.3(b)).
The sound rating to dividing walls to top level will be required, to be installed to the underside of the roof sheeting as per the dividing walls.

LANDSCAPING NOTES:

- Unless otherwise shown, all finished levels of grassed or mulched areas to be flush with paths, hard edges, paving or surface drains.
- Ensure all areas to be landscaped are cleared of builders rubble and debris. Break up any compacted ground before levelling and spray to eradicate weeds.
- Provide durable hard edges between garden beds and turfed areas, including under fences where the fence divides the garden and turfed area.
- Provide adequate protection to any trees to be retained on site. Ensure no disturbance or storage of materials within the drip line.
- Cultivate all planting areas to a depth of 200mm and provide at least 300 mm depth of topsoil.
- Provide 75 mm depth of mulch to all planting areas.
- Provide a 600 mm diameter mulch collar to the base of all trees in lawn areas.
- Provide a watering tap to each enclosed courtyard areas and to any isolated landscaped areas of common property.
- All fences to be 100 x 75 treated posts 2.4meter centres 75 x 50 treated rails (3 off) and treated timber palings with 5 mm gap.
- Driveways to be exposed aggregate concrete with brick paver edges and construction joints. Secondary paths to be exposed aggregate also.
- Paving to courtyards and patios to be brick paving with header course to perimeter and herringbone pattern to rest of areas.
- All grassed areas are to be pre-treated as per turf supplier recommendations and all turf to be A-grade instant lawn species layed as recommended by supplier with replacement guarantees.
- All plants to be as selected, good quality stock with a guarantee of replacement if they are rejected on inspection. Clearly label all plants with water-resistant labels.
- Apply recommended fertilizer to manufactures specification to grassed areas and to plant holes one day before planting and water in well.

artisan development co.
77 Simpsons Road, Bardon QLD 4065
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Ph (07) 3217 5505 Mob 0418 195 641
design . development . construction

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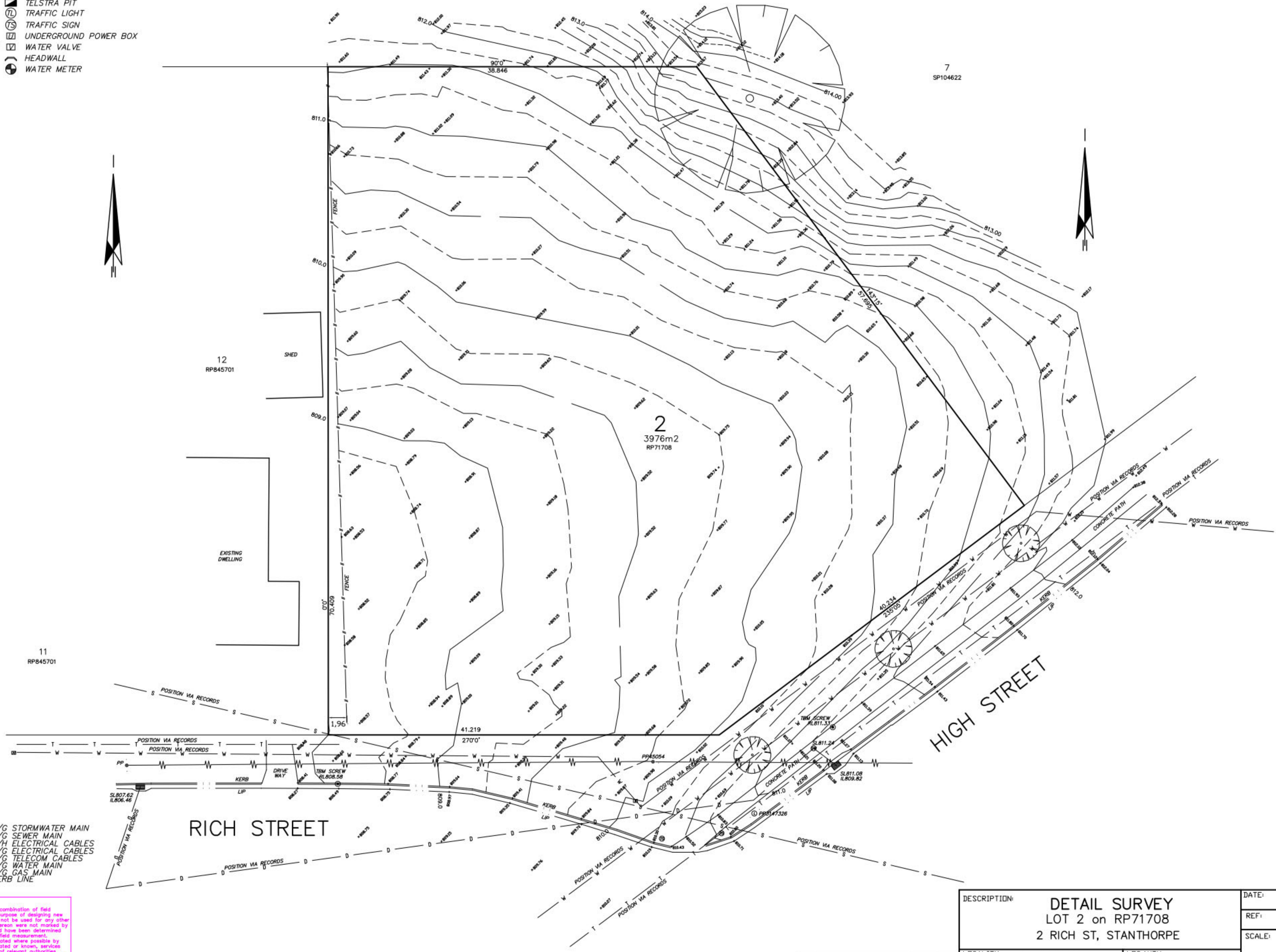
No.	Description	Date
1	Preliminary CD - For Client Review	15/12/21

2 Rich St, Stanthorpe

Cover Page	
Project number	2 Rich St
Date	15/12/21
Drawn by	DL
Checked by	GP
A100	
Scale	

LEGEND:

- AIR VALVE
- ELECTRICAL PIT
- GAS SUPPLY
- GULLY TRAP
- HYDRANT
- PARKING METER
- PSM-TBM SCREW
- ROOFWATER PIT
- SEWER MANHOLE
- STOP SIGN
- STORMWATER MANHOLE
- STREET LIGHT
- TELSTRA PIT
- TRAFFIC LIGHT
- TRAFFIC SIGN
- UNDERGROUND POWER BOX
- WATER VALVE
- HEADWALL
- WATER METER



- LEGEND:
- U/G STORMWATER MAIN
 - U/G SEWER MAIN
 - O/H ELECTRICAL CABLES
 - U/G ELECTRICAL CABLES
 - U/G TELECOM CABLES
 - U/G WATER MAIN
 - U/G GAS MAIN
 - KERB LINE

NOTE:
 This plan has been prepared from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose. The title boundaries shown herein were not marked by the author at the time of survey and have been determined by plan dimensions only and not by field measurement. Services shown herein have been located where possible by field survey. If not able to be so located or known, services have been plotted from the records of relevant authorities where available and have been noted accordingly on this plan. Where such records either do not exist or are considered inadequate, a notation has been made hereon. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services. This note is an integral part of this plan.

Contour Interval 0.25m
 Datum for Levels AHD.d
 Origin.....PSM24870.....RL828.597

DESCRIPTION: DETAIL SURVEY		DATE: 28-6-21
LOT 2 on RP71708		REF: 3587
2 RICH ST, STANTHORPE		SCALE: 1:100 DIGITAL
		1:100 @ A1
		1:200 @ A3
LOCALITY: STANTHORPE		LOC.AUTH: SDRC
JOHN DAWSON Surveys Pty Ltd		15 KARALISE DRIVE, ROCHEDALE. 4123
		Telephone: (07) 3841 2674
		Mobile: 0411 656 274
		EMAIL: dawsonsurveys@bigpond.com

ISSUE	DESCRIPTION	DATE	SIGNED
A	ORIGINAL ISSUE	30-6-21	



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No.	Description	Date
1	Preliminary CD - For Client Review	15/12/21

2 Rich St, Stanthrope

Site Plan		
Project number	2 Rich St	A102
Date	15/12/21	
Drawn by	DL	Scale 1 : 250
Checked by	GP	



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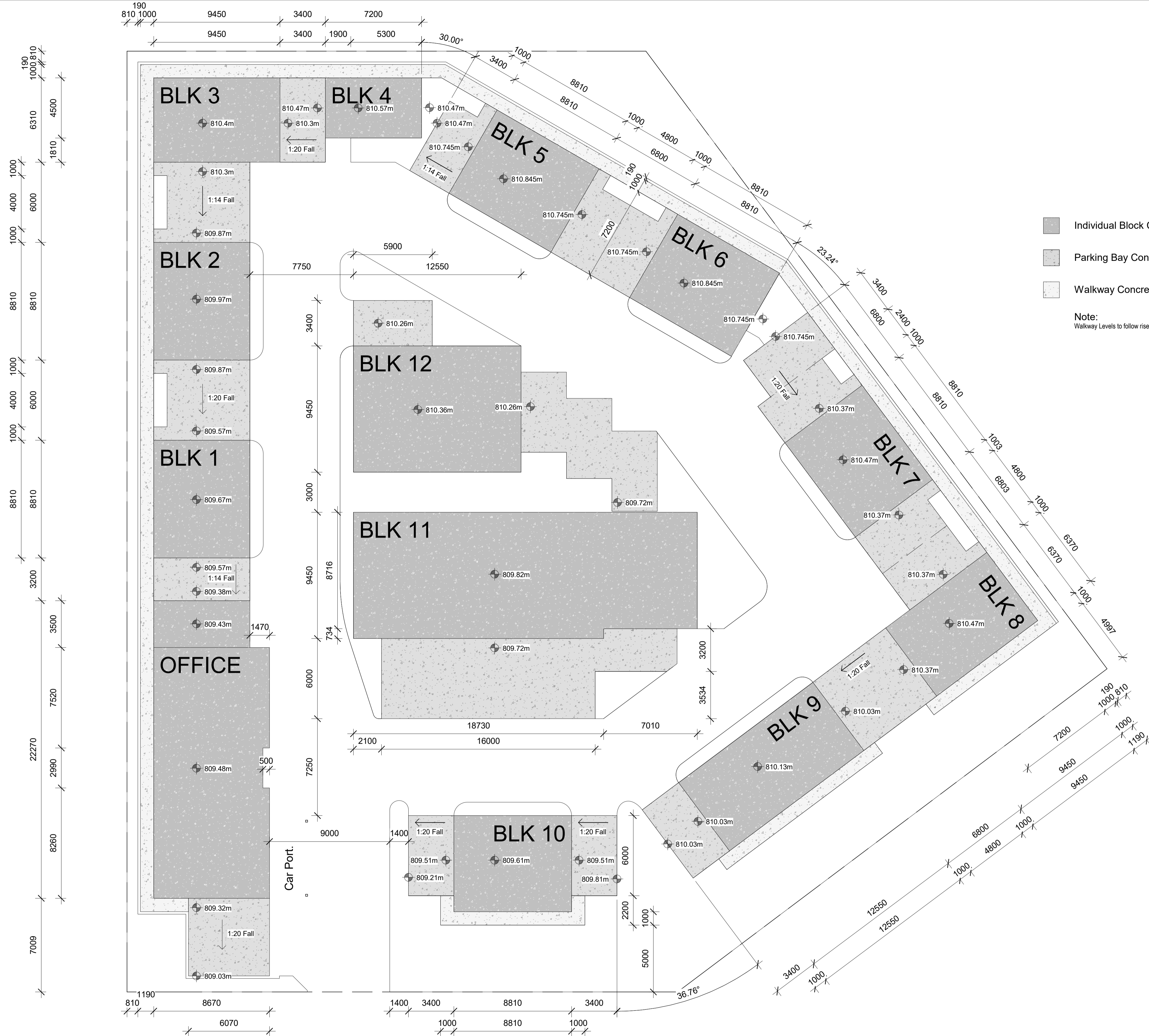
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2 Rich St, Stanthrope

Legend

Project number	2 Rich St	A103
Date	15/12/21	
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Checked by	GP	



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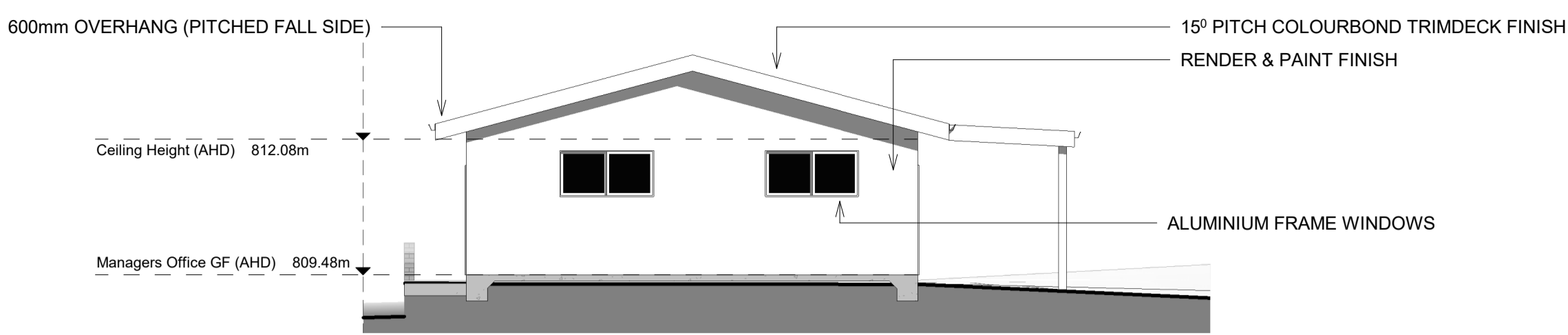
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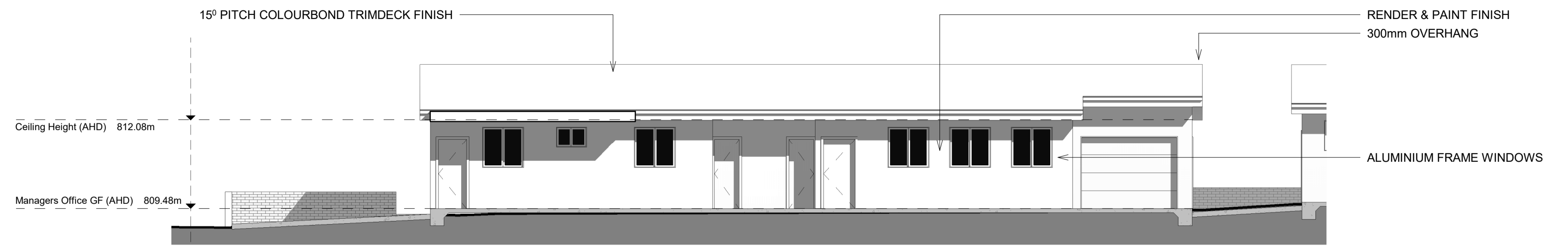
2 Rich St, Stanthrope

Concrete Setout Plan

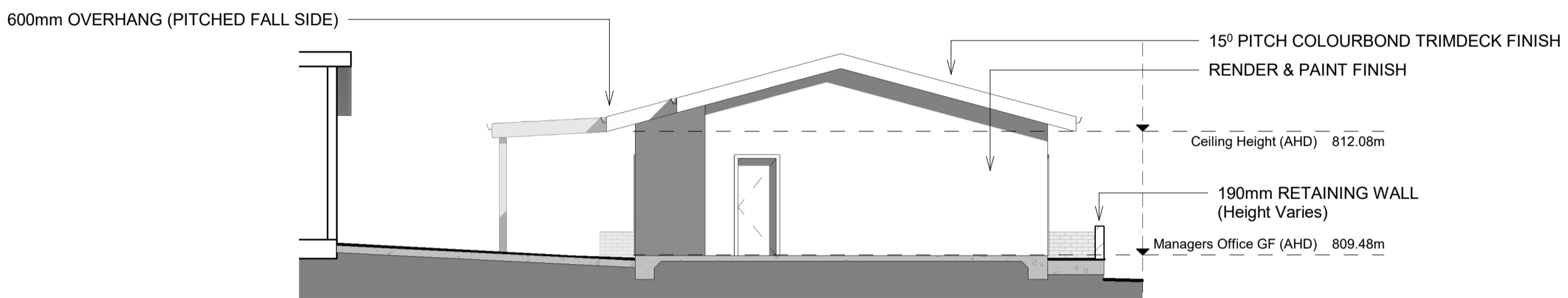
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Date	15/12/21	
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Checked by	GP	
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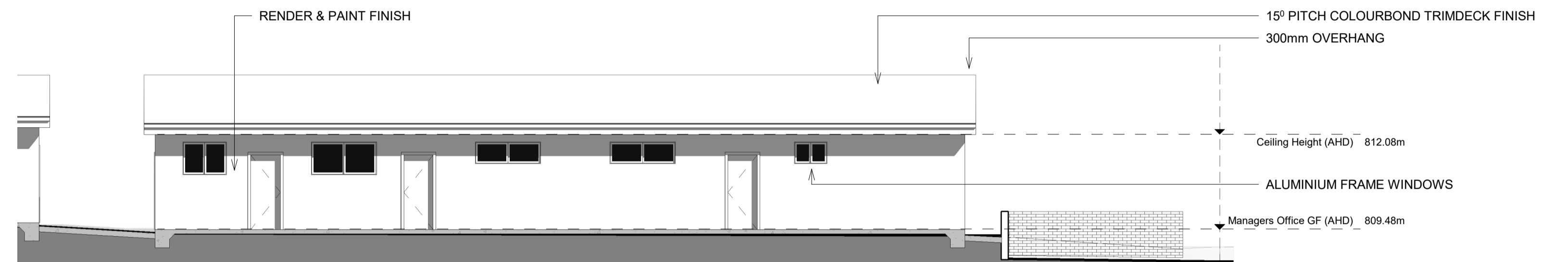
South Elevation (Managers office)
1:100



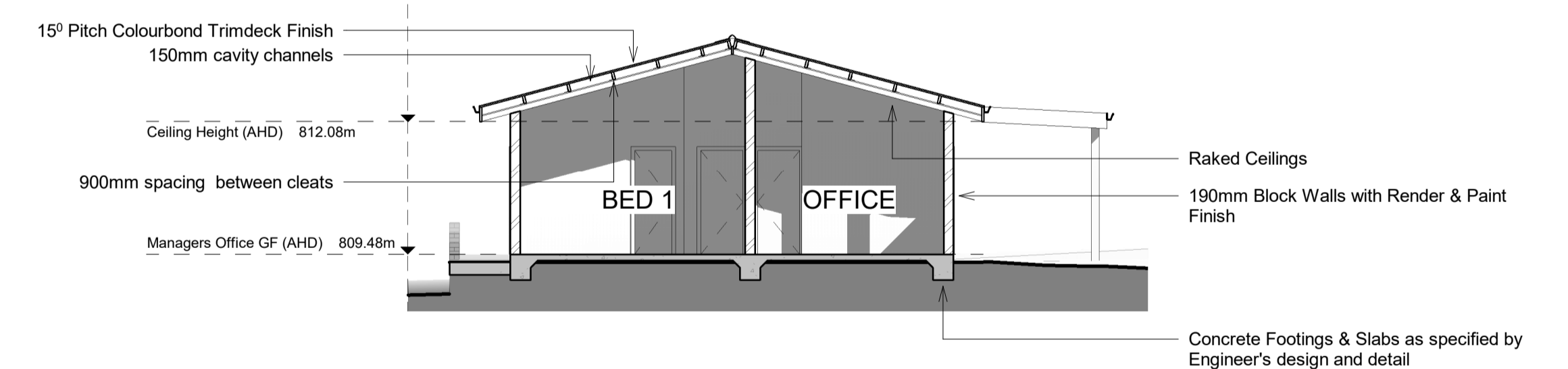
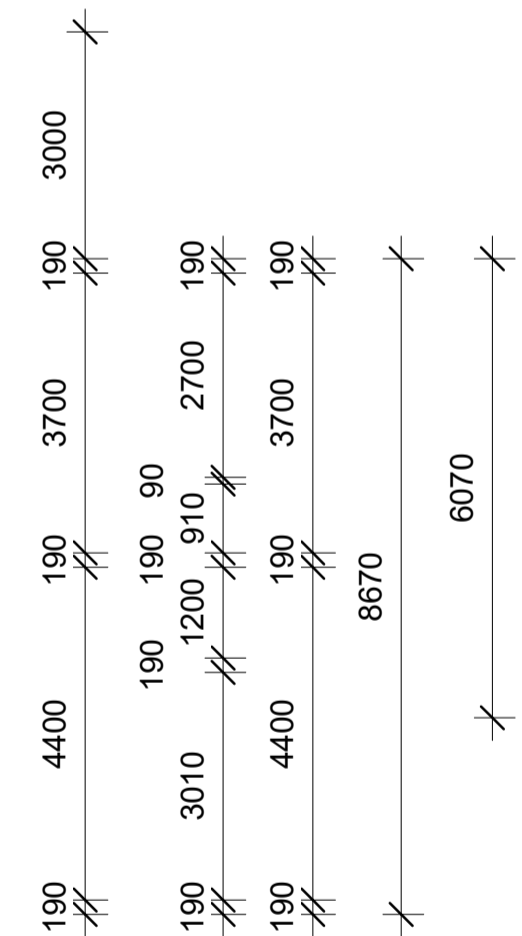
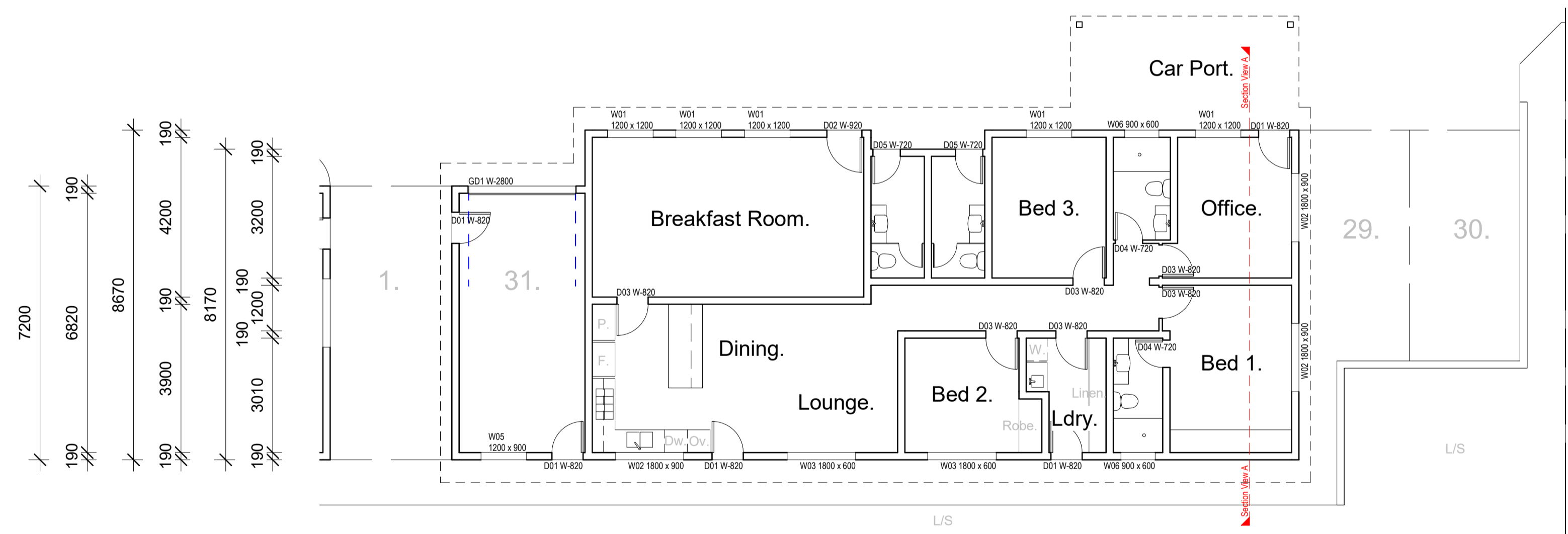
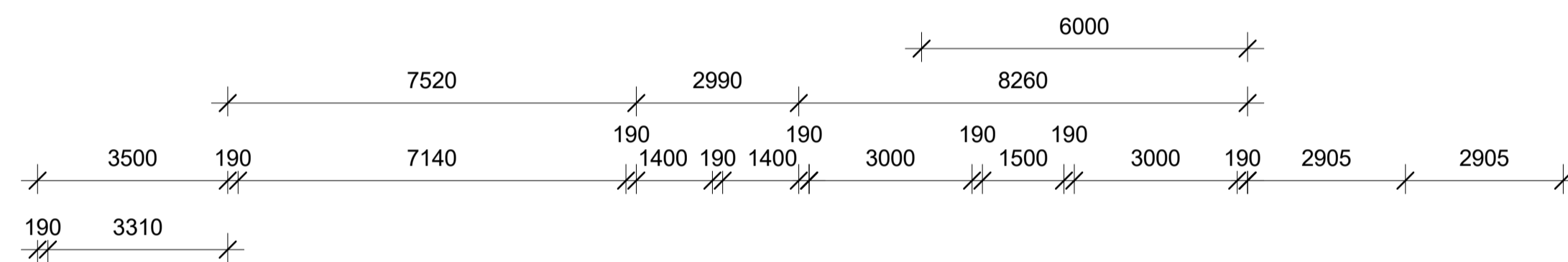
East Elevation (Managers office)
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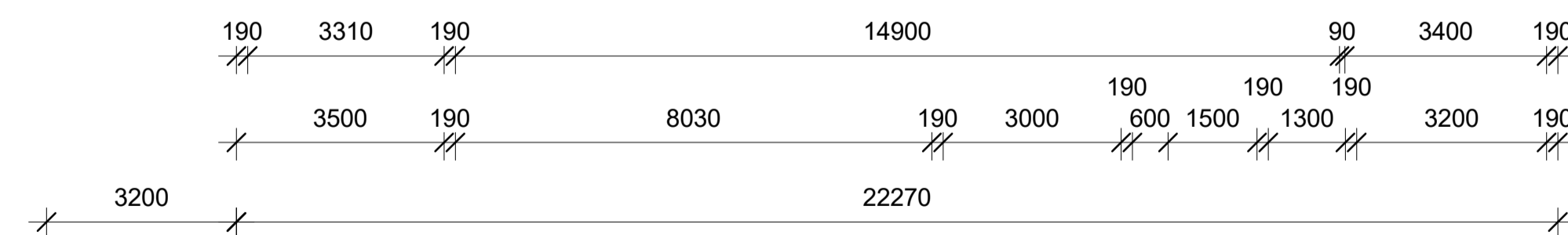
North Elevation (Managers office)
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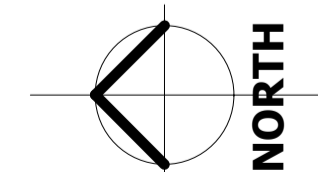
West Elevation (Managers office)
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Section View A (Managers office)
1:100



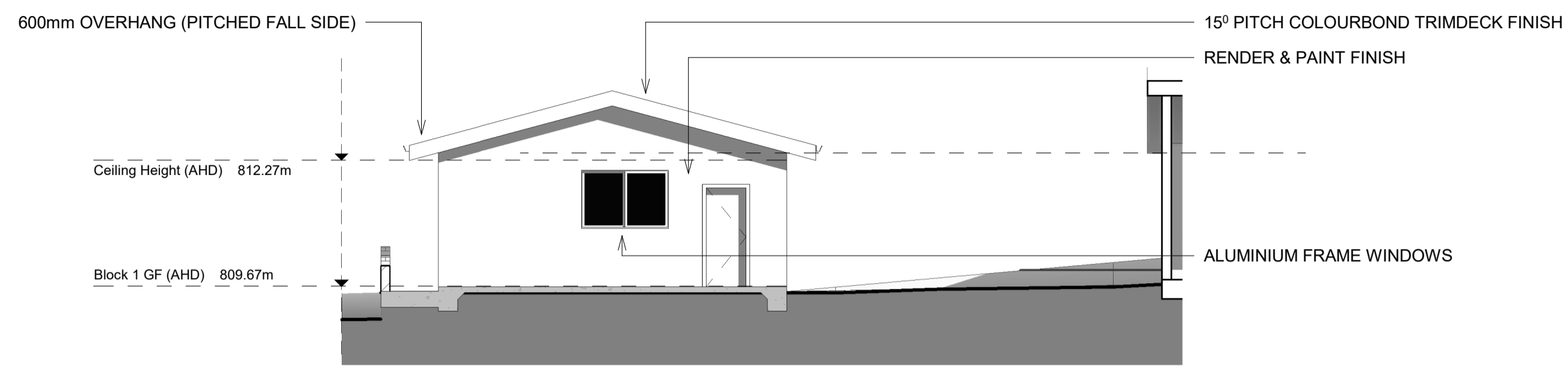
Floor Plan (Managers office)
1:100



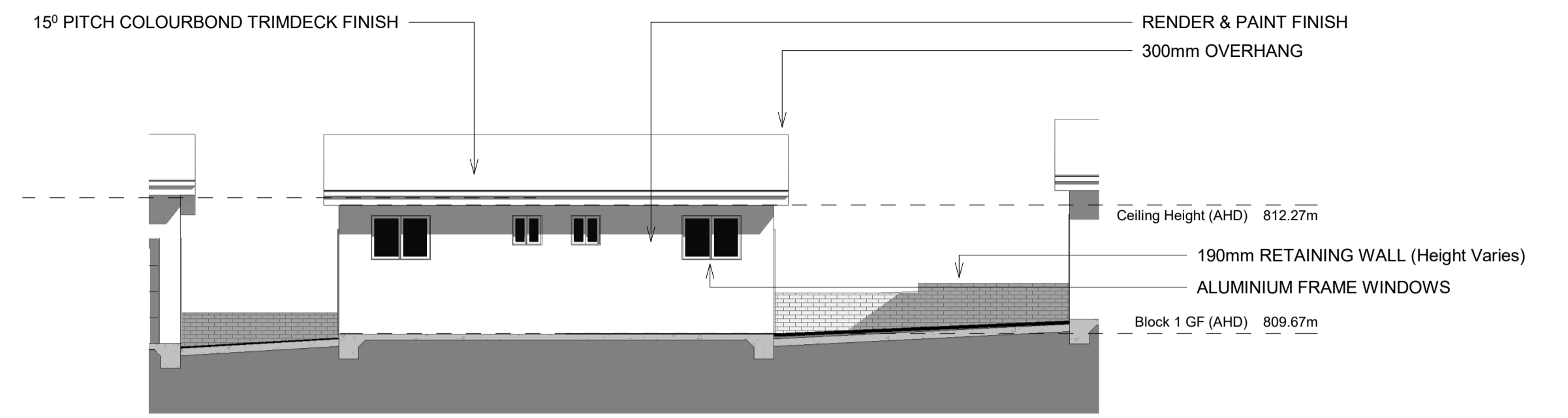
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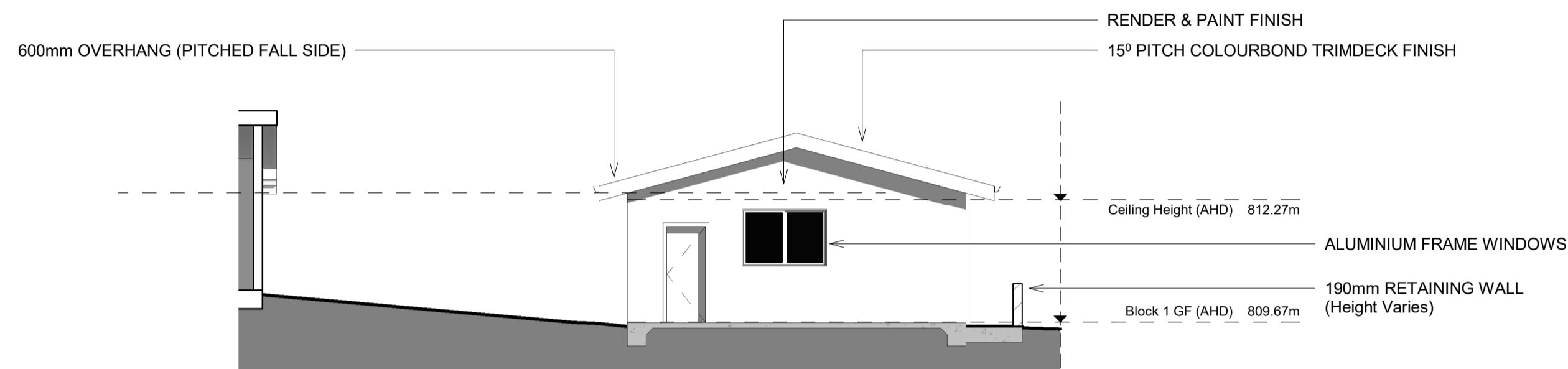
2 Rich St, Stanthorpe		
Plans & Elevations - Managers Office		
Project number	2 Rich St	A105
Date	15/12/21	
Drawn by	DL	Scale 1 : 100
Checked by	GP	



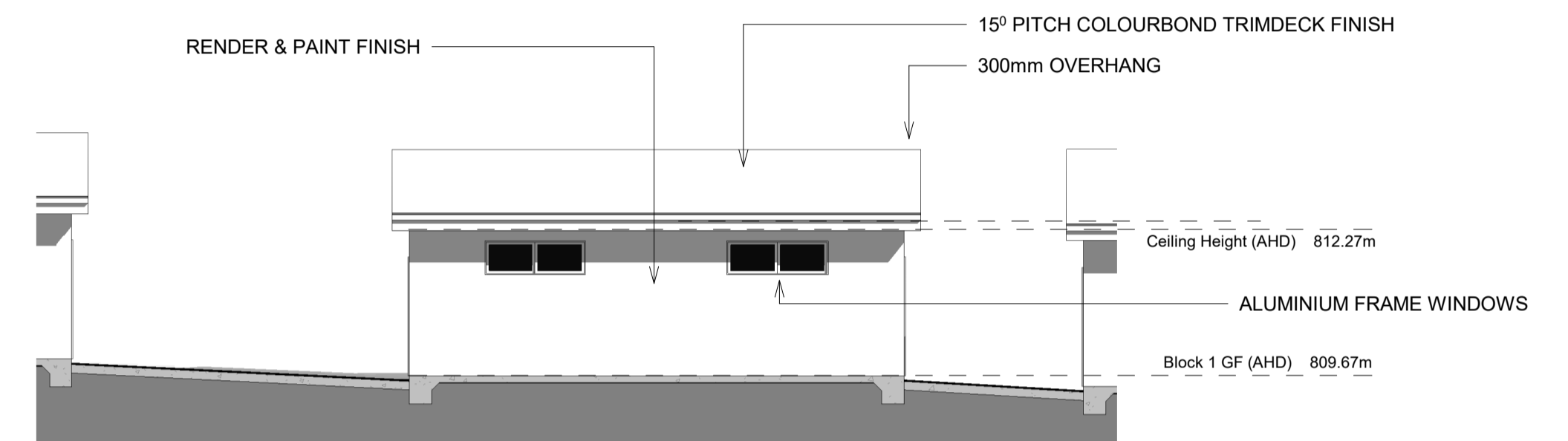
South Elevation (Block 1)
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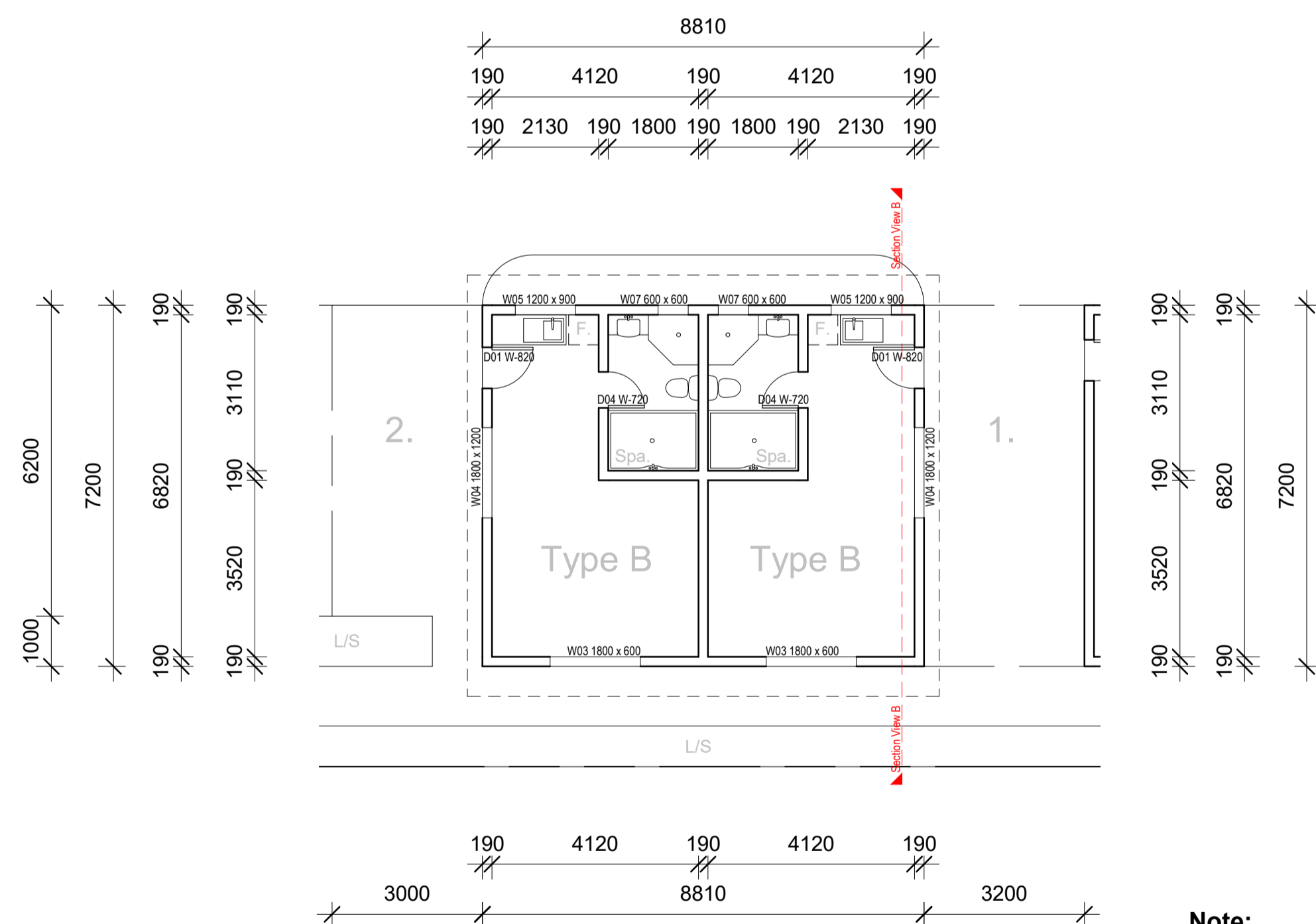
East Elevation (Block 1)
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North Elevation (Block 1)
1:100

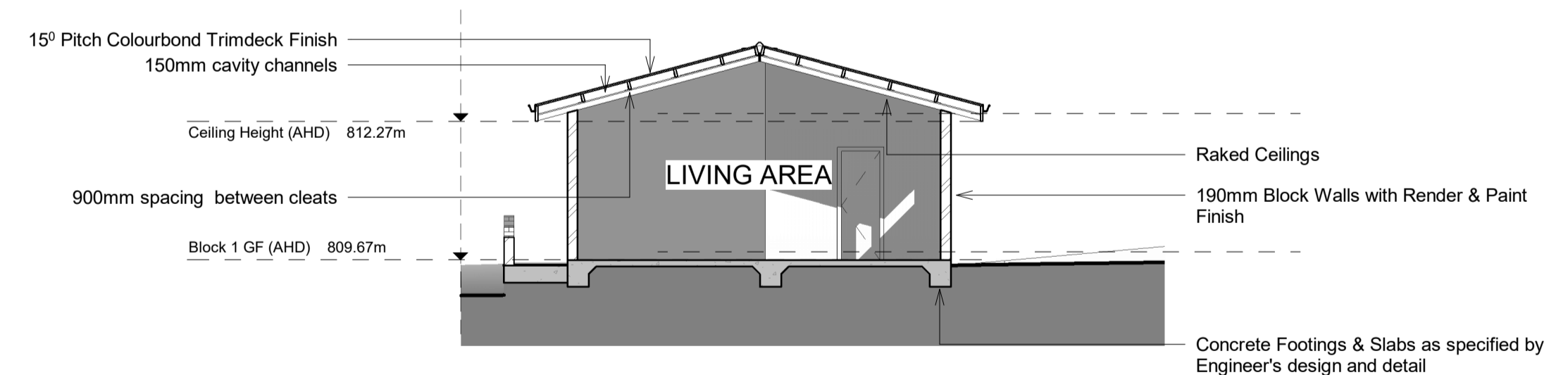


West Elevation (Block 1)
1:100



Floor Plan (Block 1)
1:100

Note:
'Type A, B, C, D' refers to the planning layout typology adopted in plan for the corresponding Block shown in plan view.



Section View B (Block 1)
1:100

Note:
Blocks 1 & 6 Share the same Roof and Slab Detail Layout

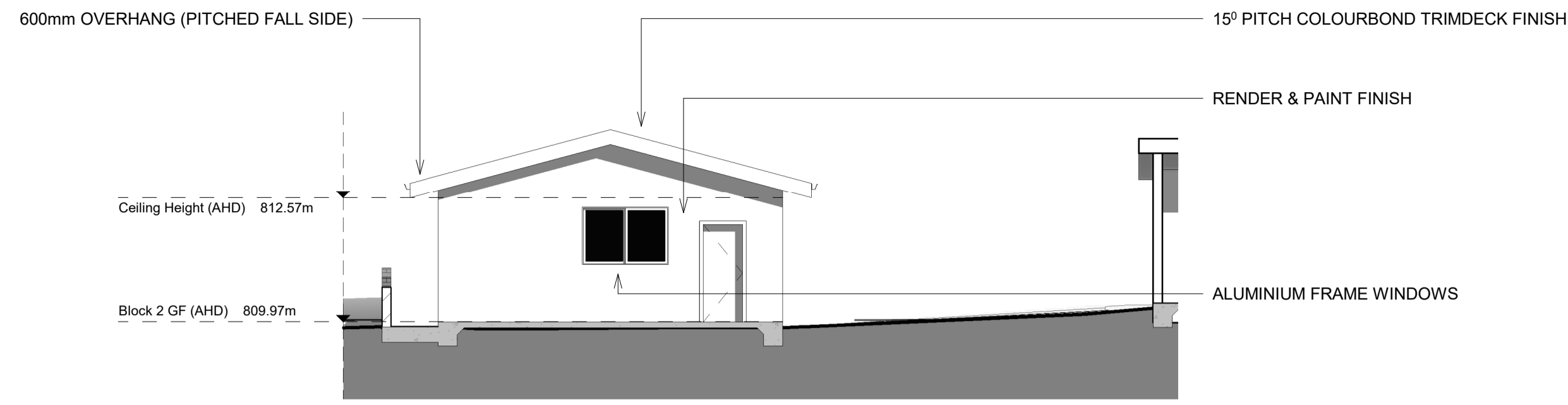


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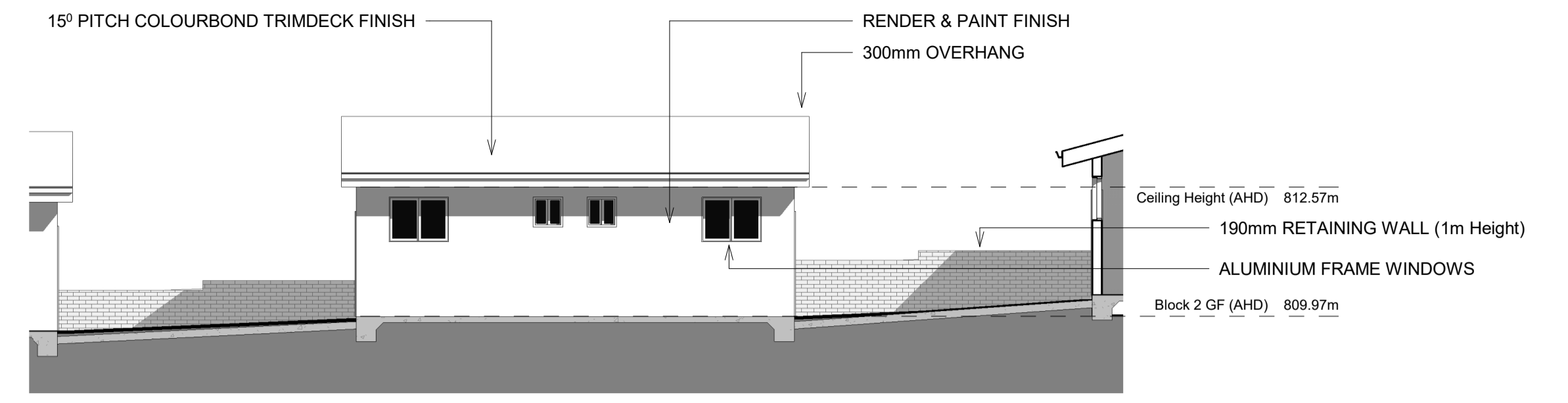
No.	Description	Date
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2 Rich St, Stanthorpe

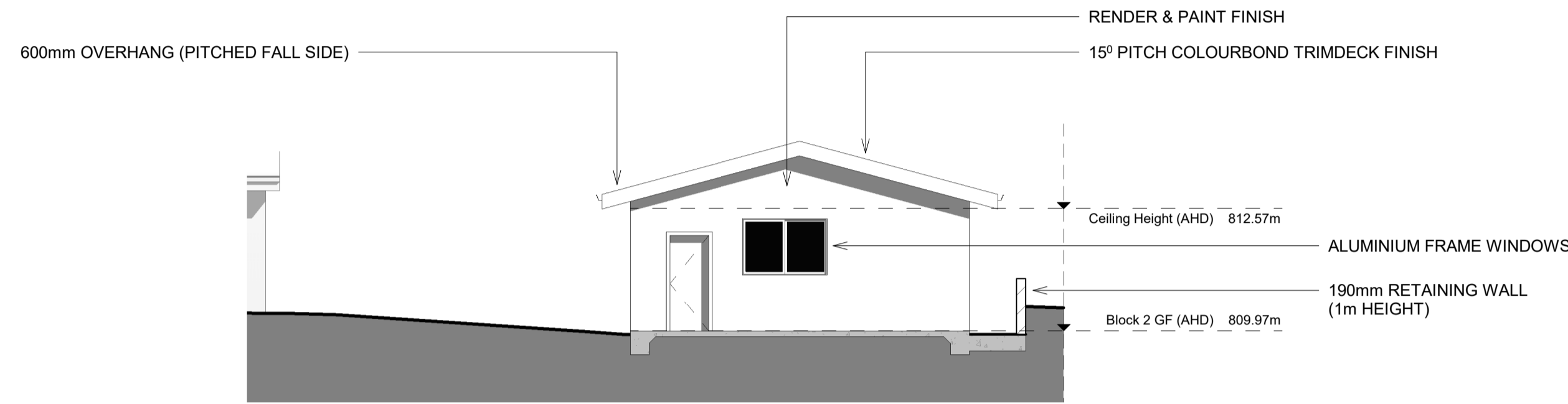
Plans & Elevations - Block 1		A106
Project number	2 Rich St	
Date	15/12/21	
Drawn by	DL	
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Scale	1 : 100	



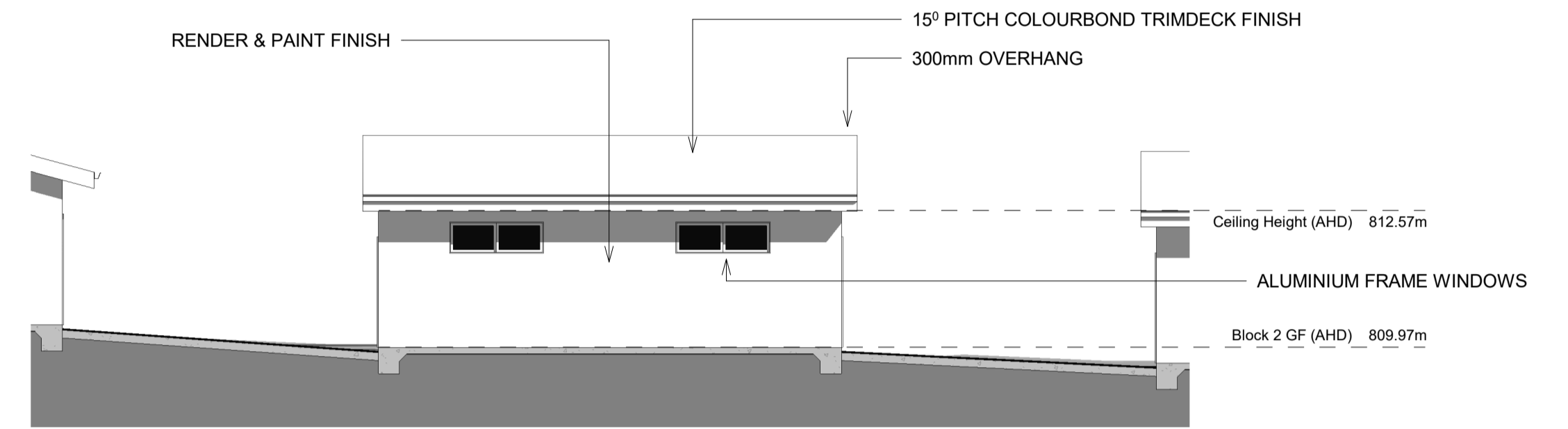
South Elevation (Block 2)
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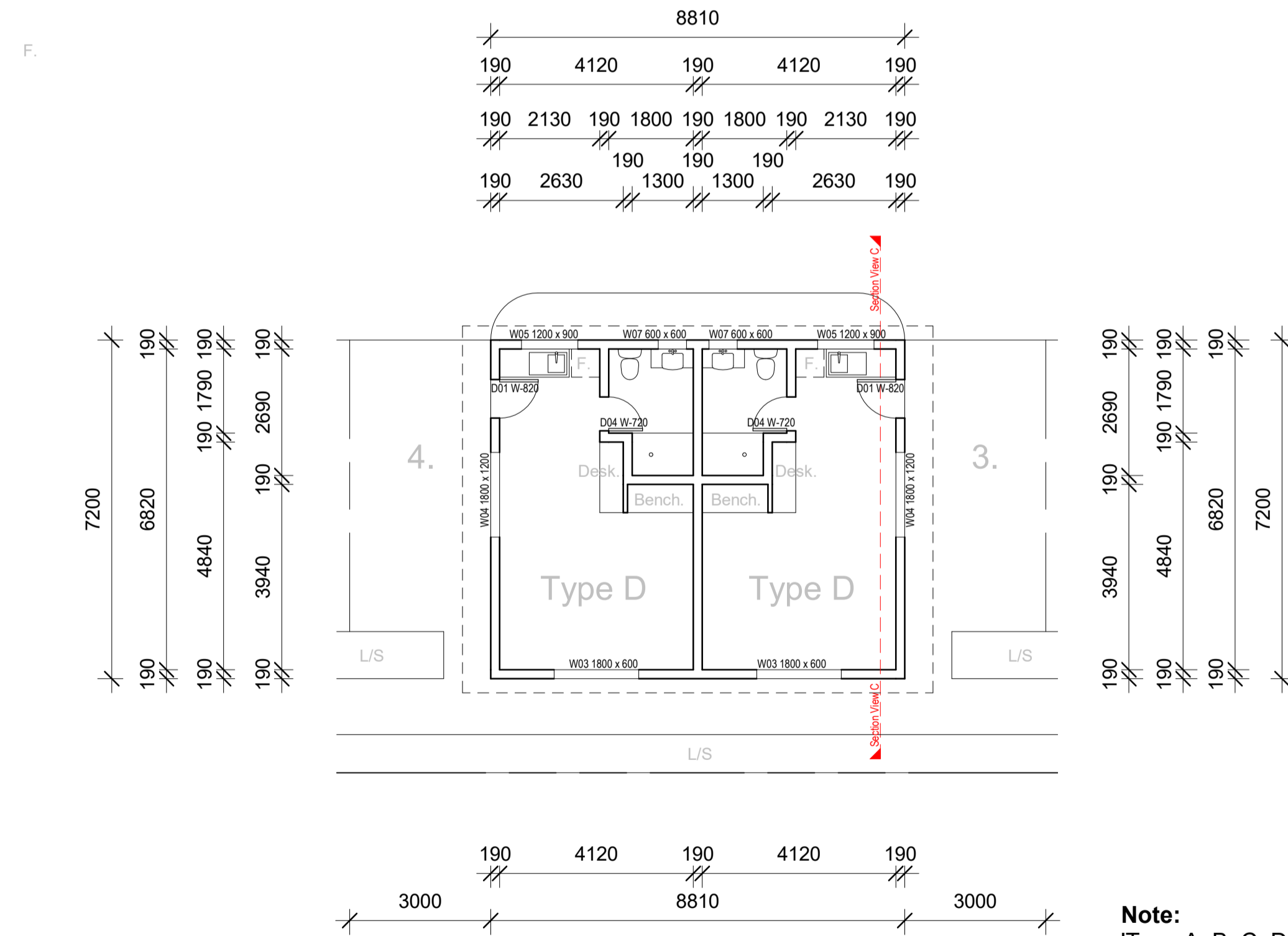
East Elevation (Block 2)
1:100



North Elevation (Block 2)
1:100

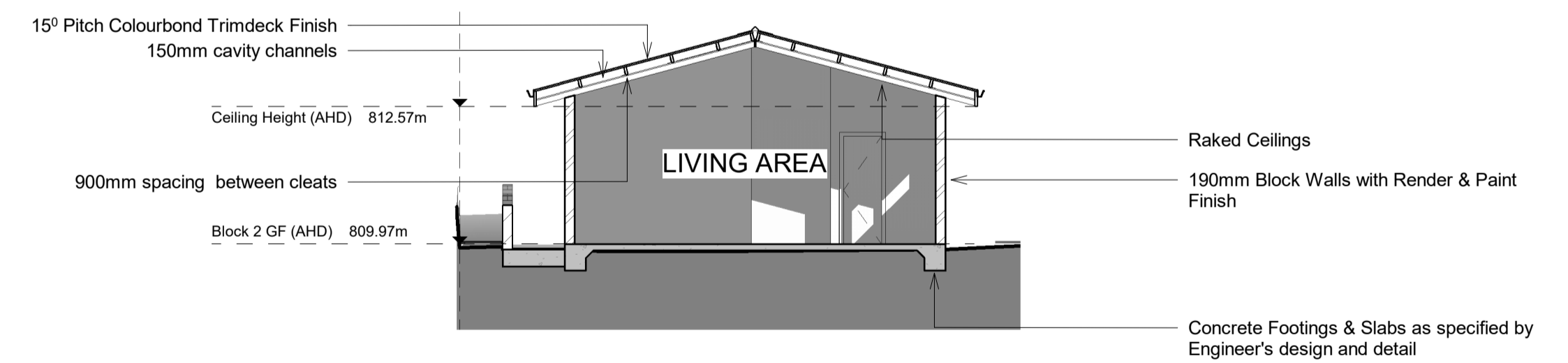


West Elevation (Block 2)
1:100



Floor Plan (Block 2)
1:100

Note:
'Type A, B, C, D' refers to the planning layout typology adopted in plan for the corresponding Block shown in plan view.



Section View C (Block 2)
1:100

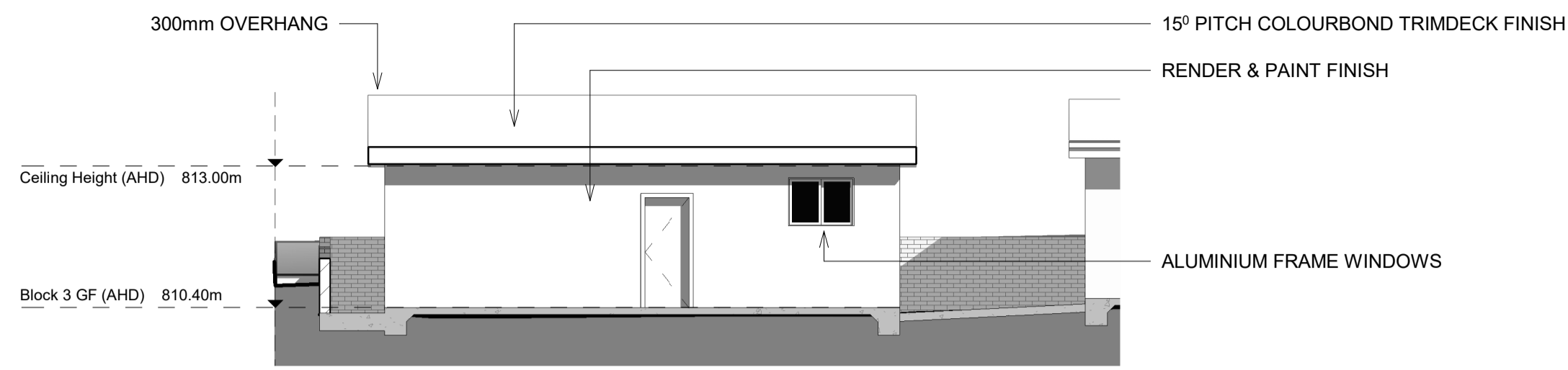
Note:
Blocks 2, 5, 7 & 10 Share the same Roof and Slab Detail Layout



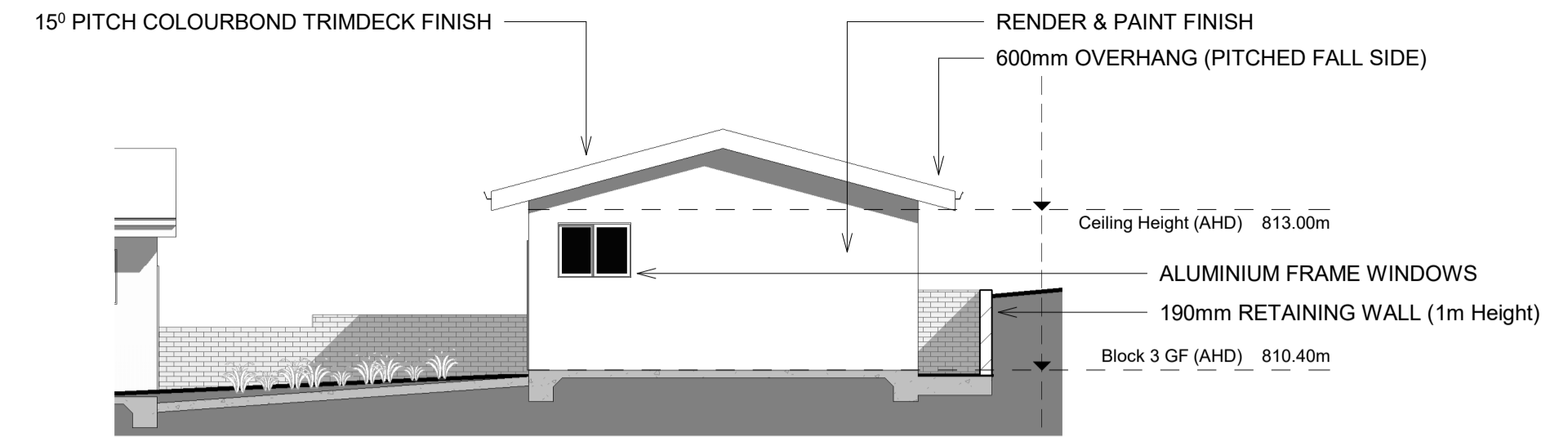
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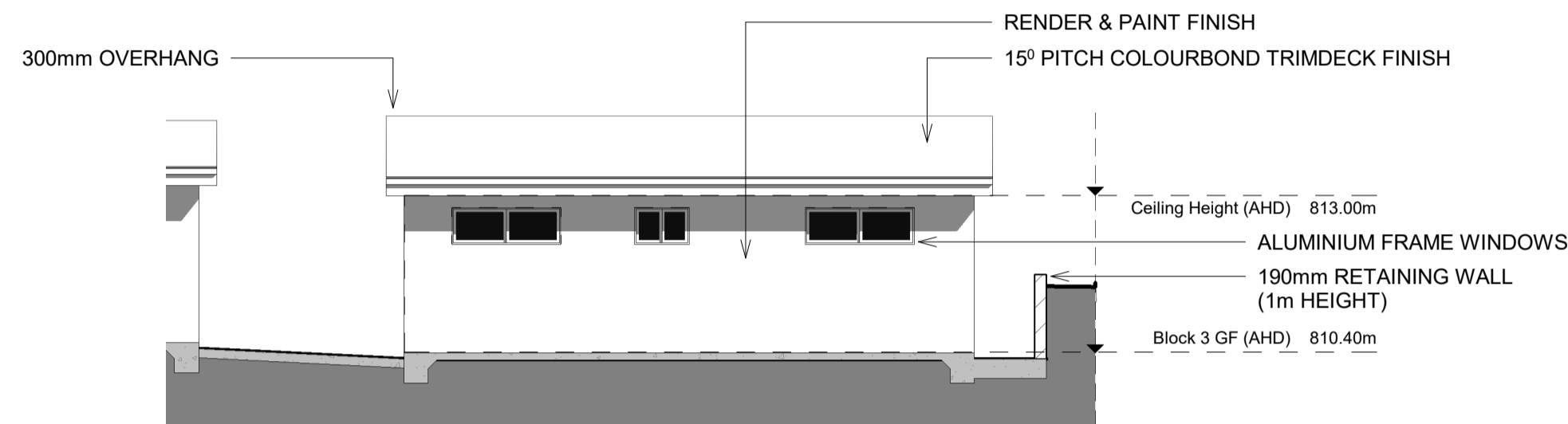
2 Rich St, Stanthrope		Plans & Elevations - Block 2	
		Project number	2 Rich St
A107		Date	15/12/21
		Drawn by	DL
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Scale		1 : 100	



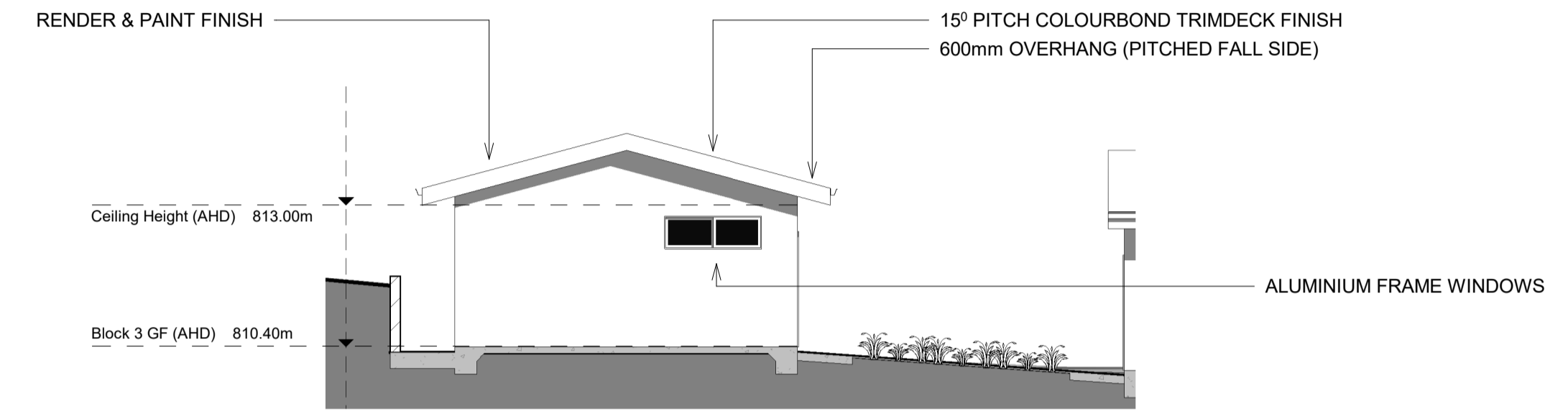
South Elevation (Block 3)
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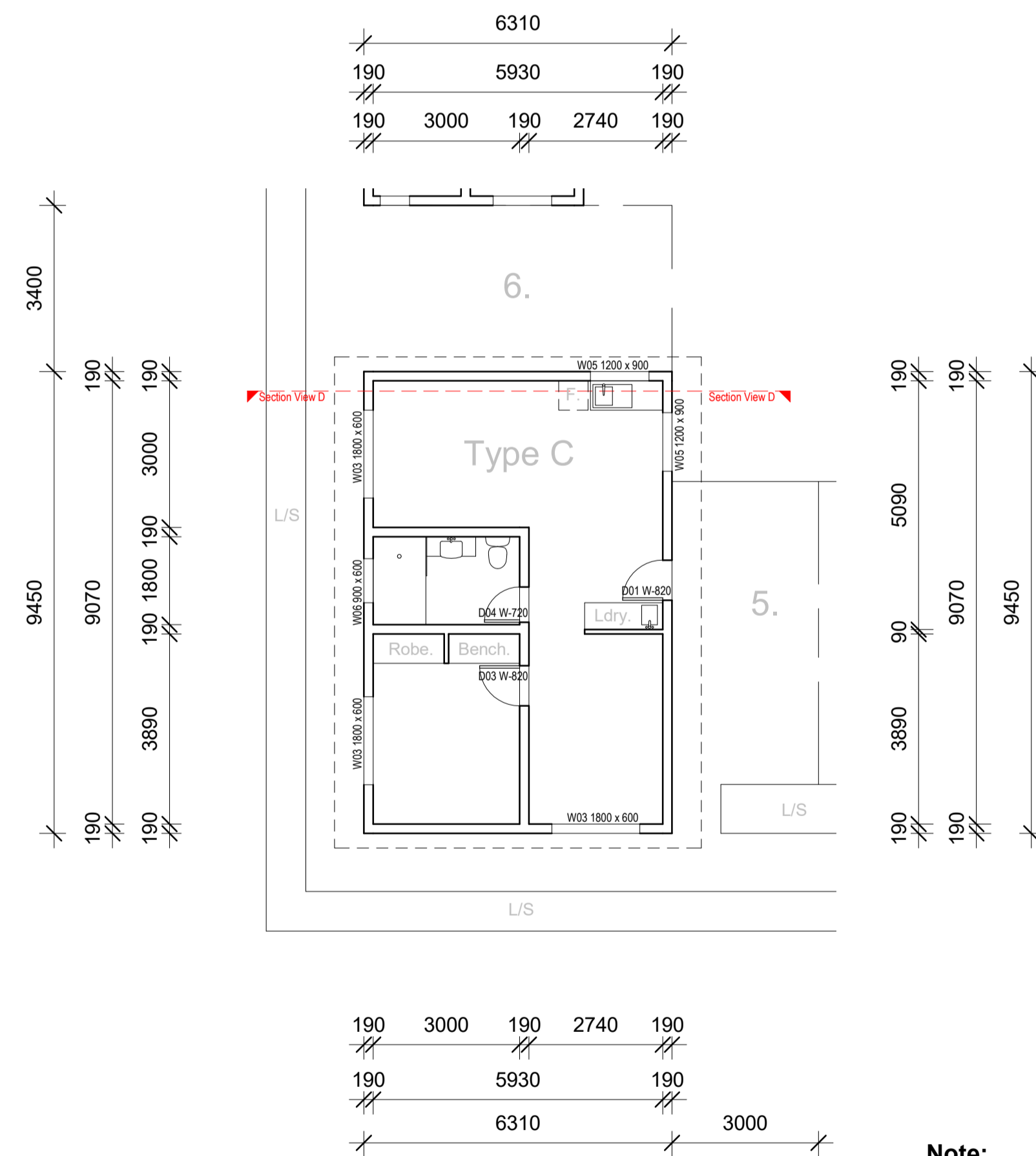
East Elevation (Block 3)
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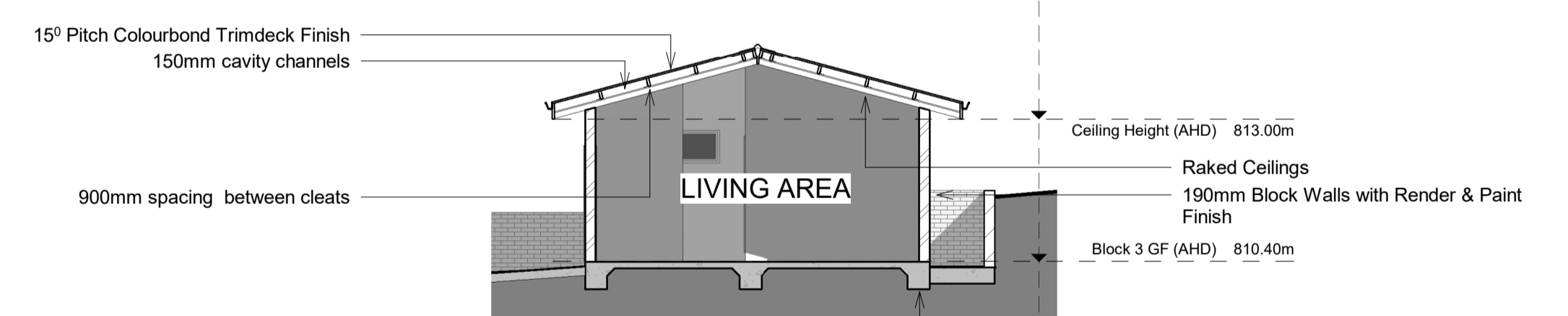
North Elevation (Block 3)
1:100



West Elevation (Block 3)
1:100



Floor Plan (Block 3)
1:100



Section View D (Block 3)
1:100

Note:
'Type A, B, C, D' refers to the planning layout typology adopted in plan for the corresponding Block shown in plan view.

Note:
Blocks 3 & 8 Share the same Roof and Slab Detail Layout

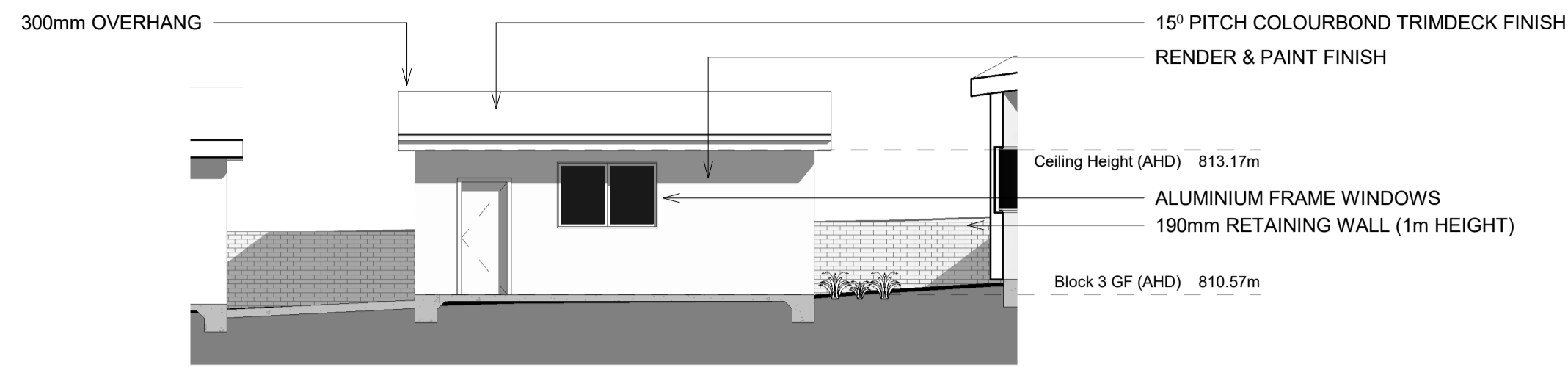


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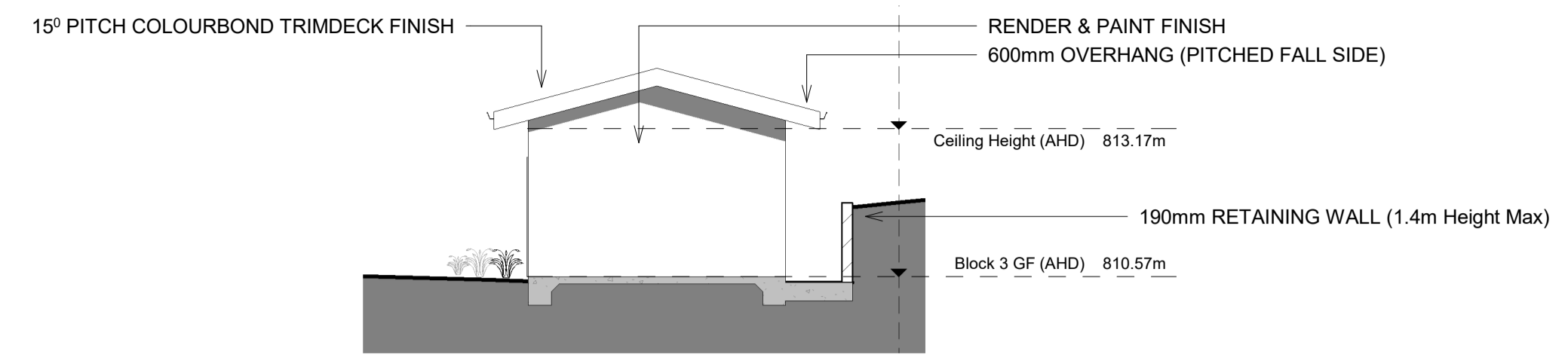
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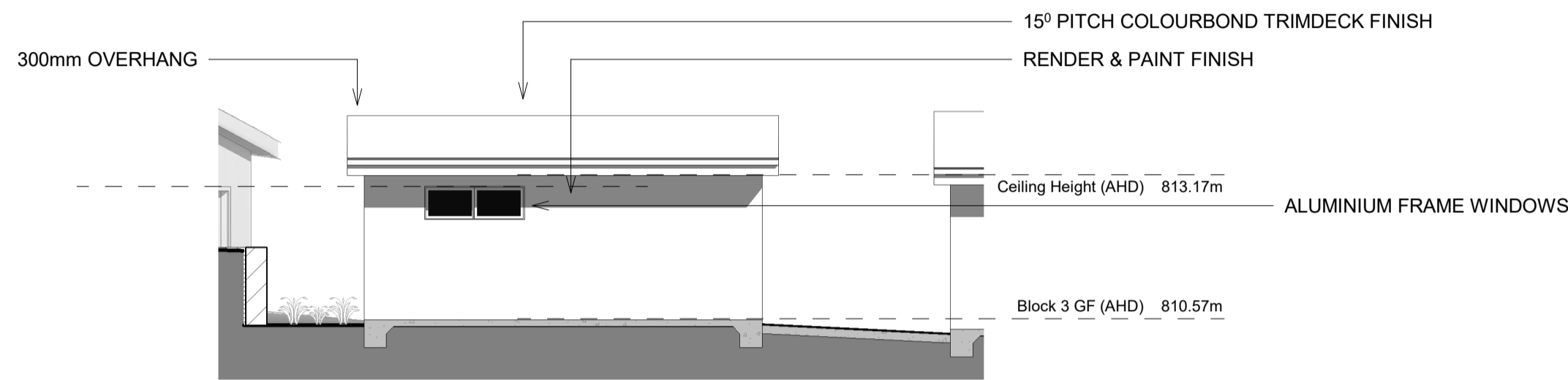
Plans & Elevations - Block 3		
Project number	2 Rich St	A108
Date	15/12/21	
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Scale	1 : 100	



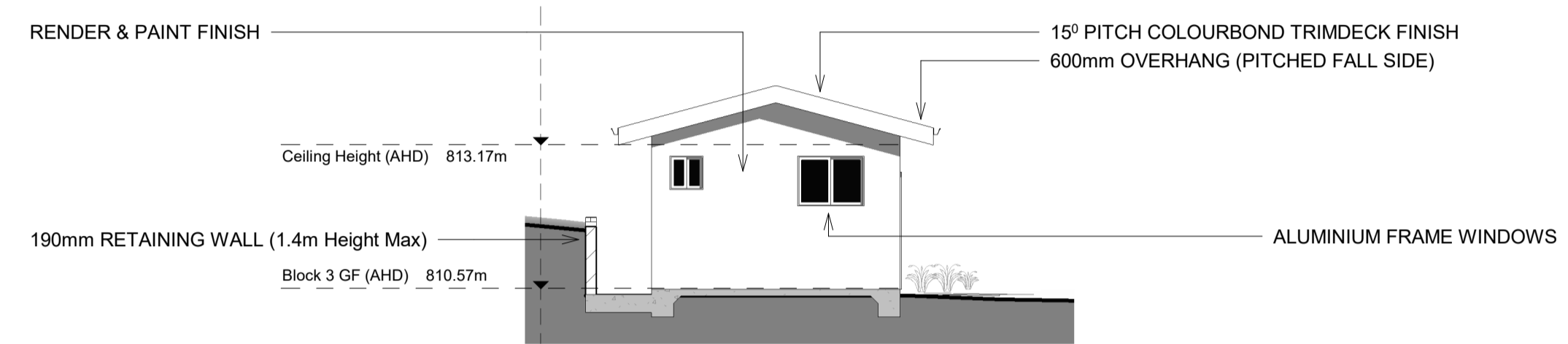
South Elevation (Block 4)
1:100



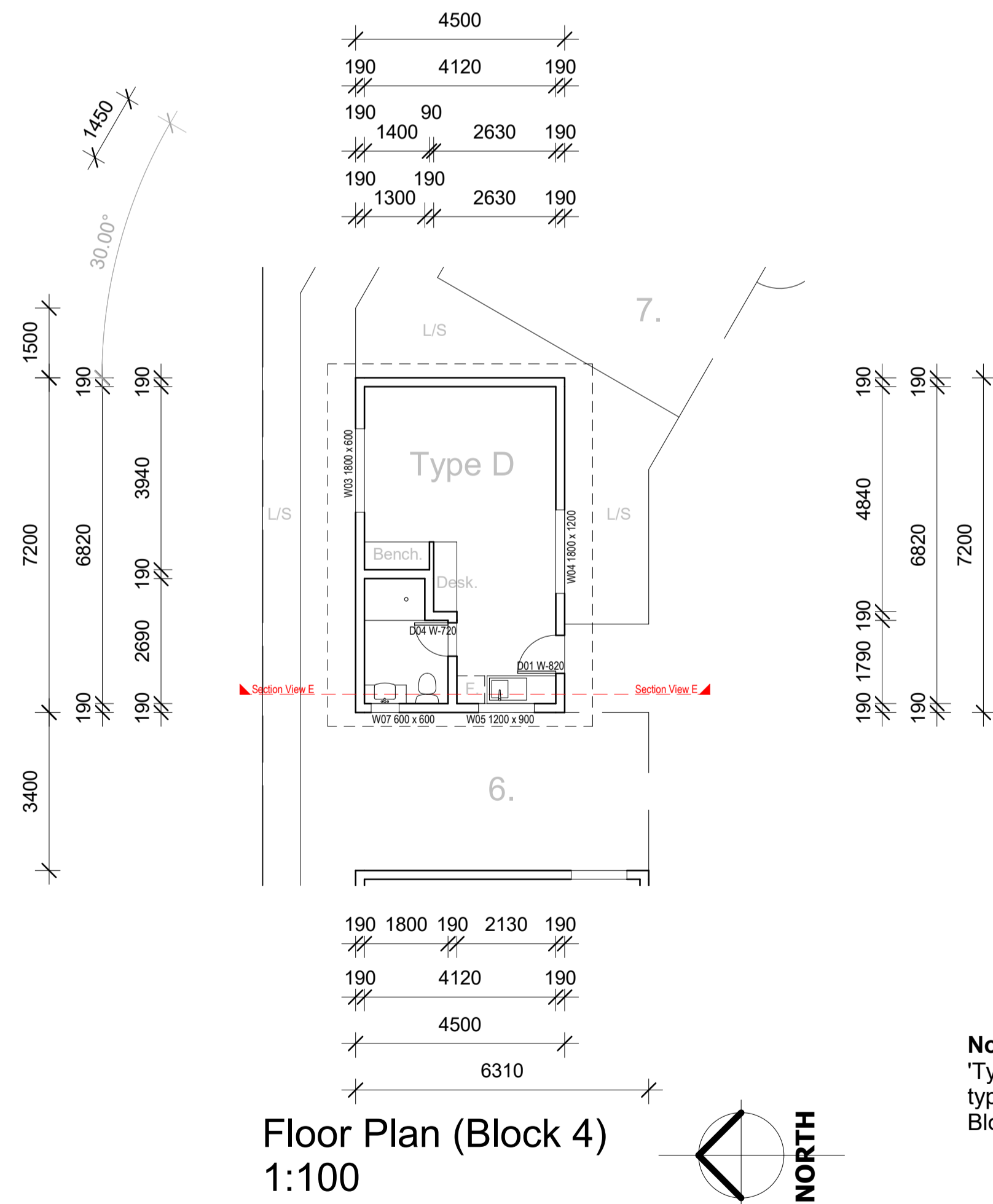
East Elevation (Block 4)
1:100



North Elevation (Block 4)
1:100

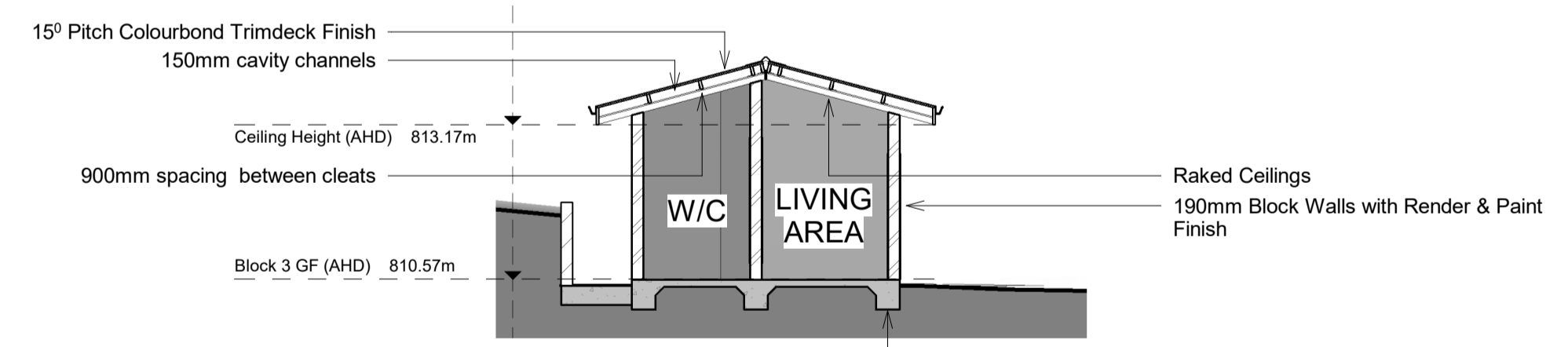


West Elevation (Block 4)
1:100



Floor Plan (Block 4)
1:100

Note:
'Type A, B, C, D' refers to the planning layout typology adopted in plan for the corresponding Block shown in plan view.



Section View E (Block 4)
1:100

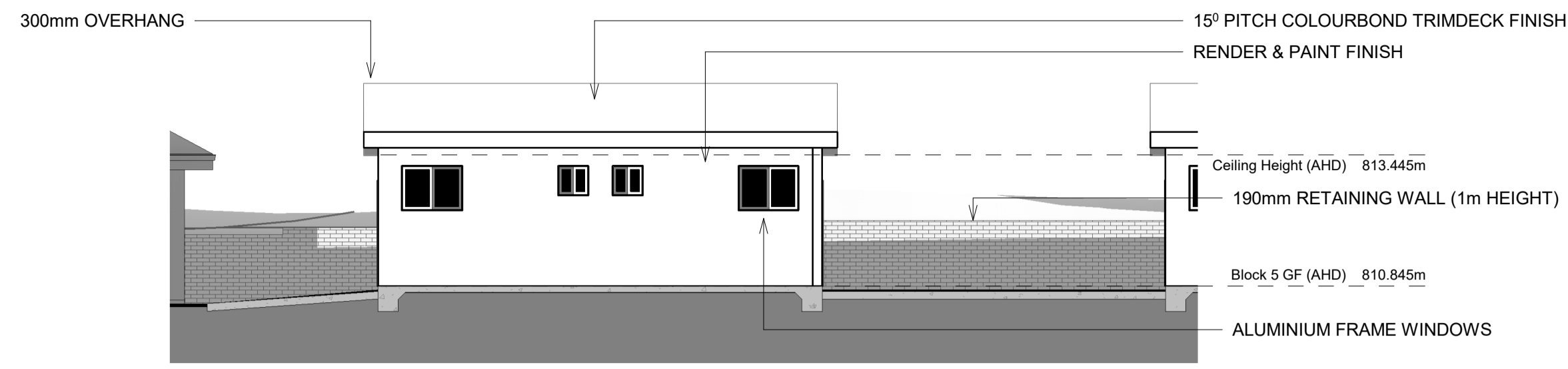
No.	Description	Date
1	Preliminary CD - For Client Review	15/12/21

2 Rich St, Stanthorpe

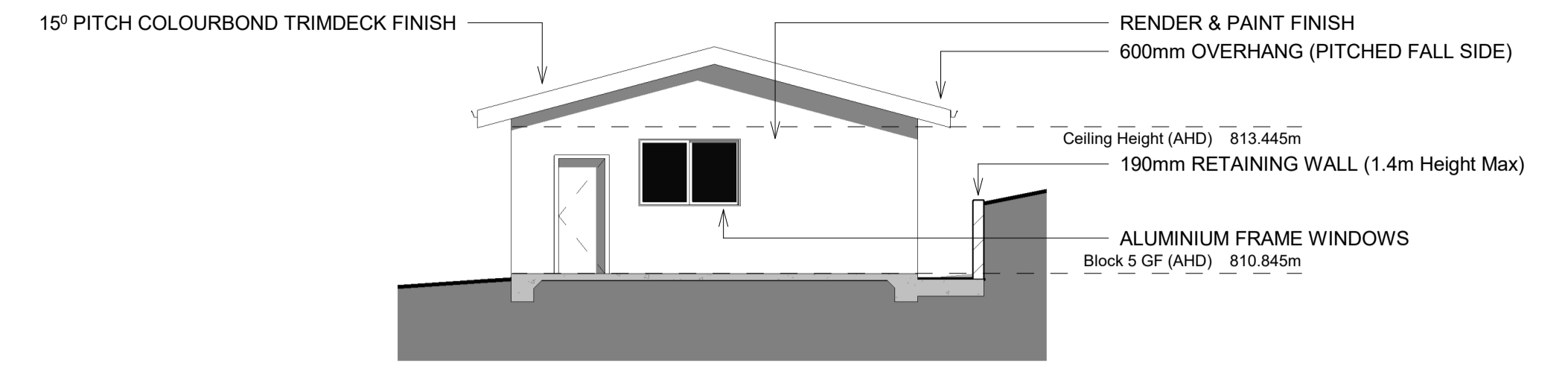
Plans & Elevations - Block 4

Project number	2 Rich St	A109
Date	15/12/21	
Drawn by	DL	Scale
Checked by	GP	

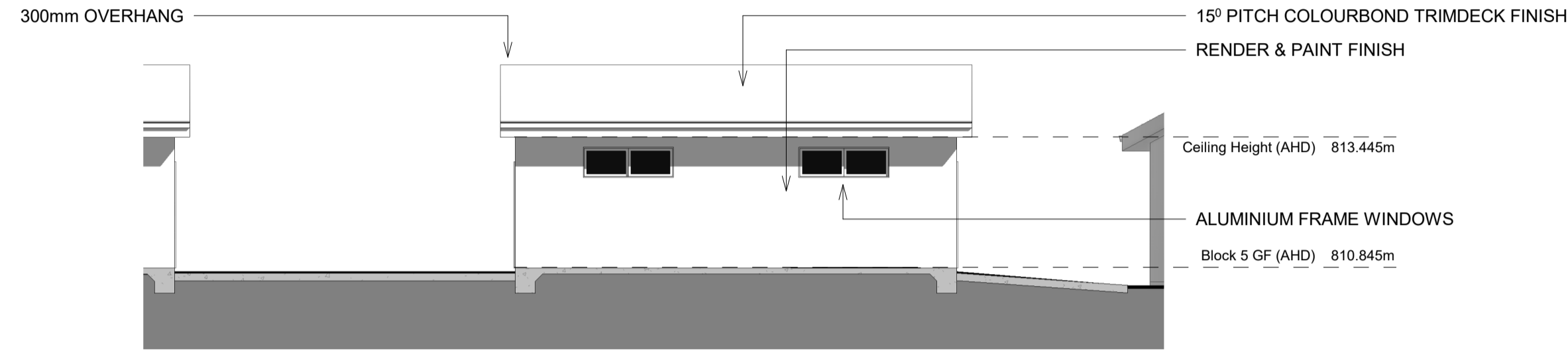
1 : 100



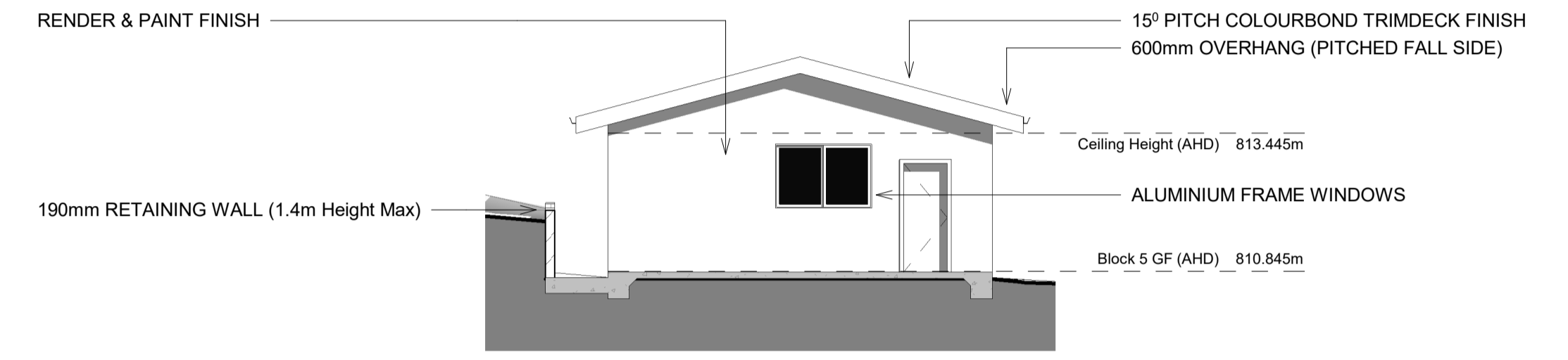
South Elevation (Block 5)
1:100



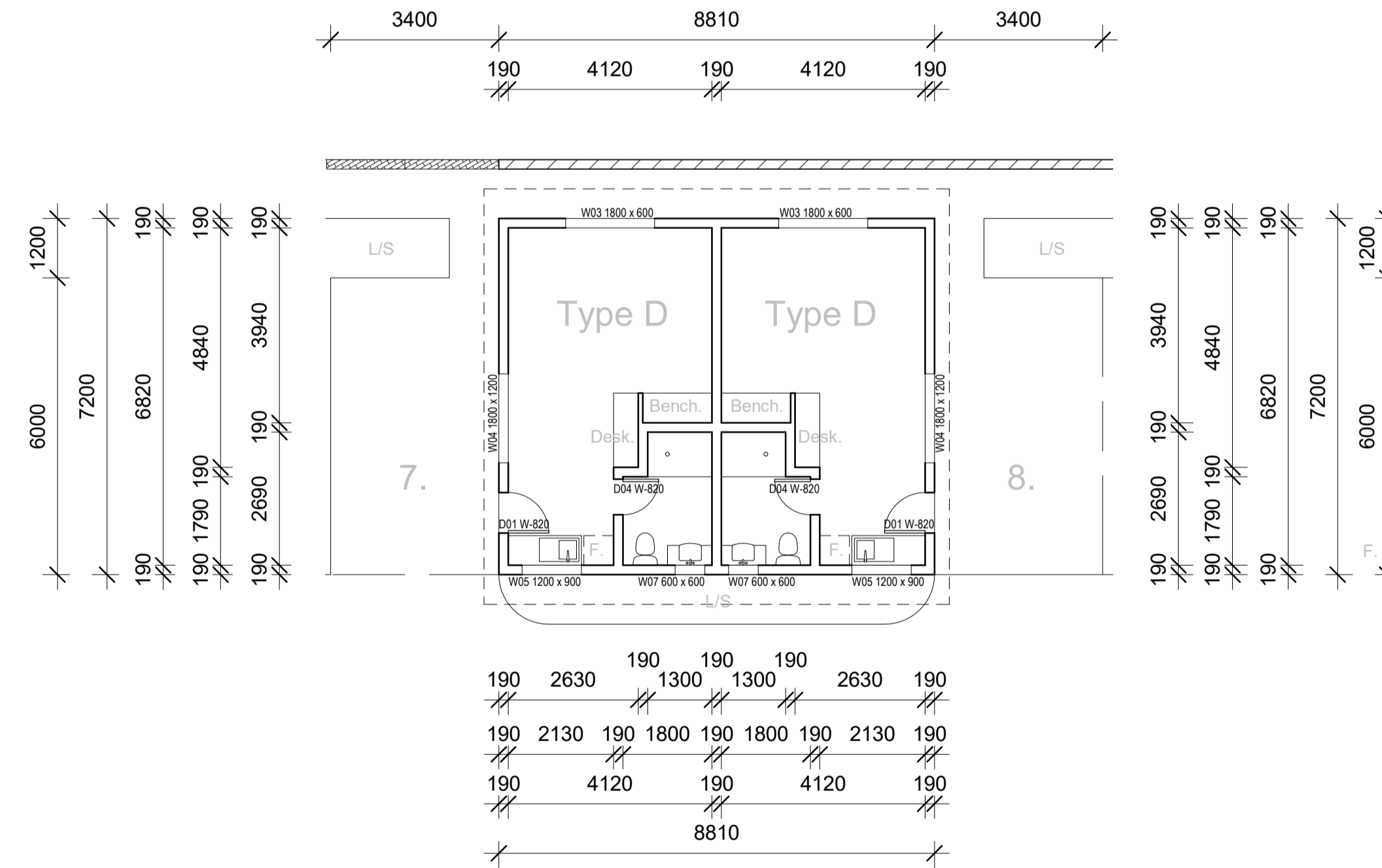
East Elevation (Block 5)
1:100



North Elevation (Block 5)
1:100



West Elevation (Block 5)
1:100



Floor Plan (Block 5)
1:100

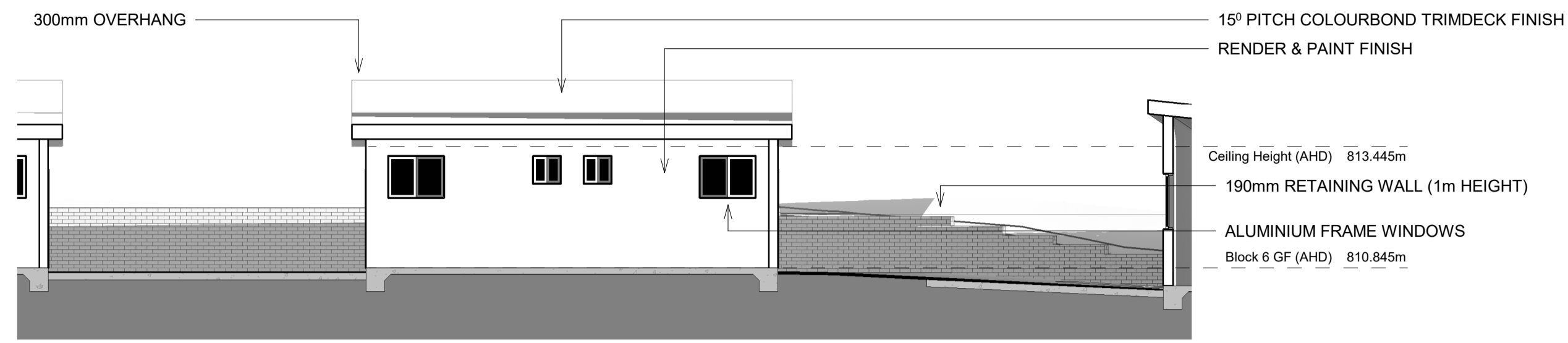


Note:
For Details regarding Roof and Slab details Refer to Blk 2 Section Detail

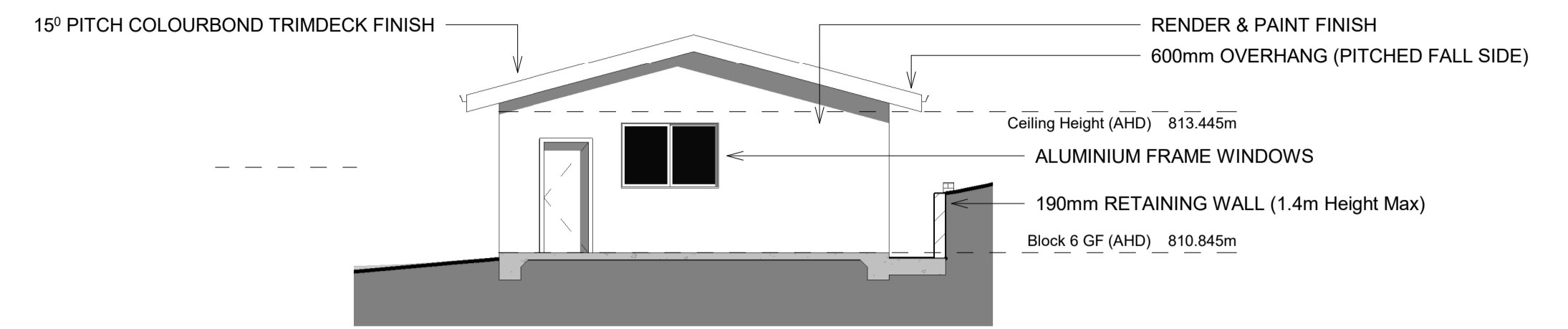
Note:
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No.	Description	Date
1	Preliminary CD - For Client Review	15/12/21

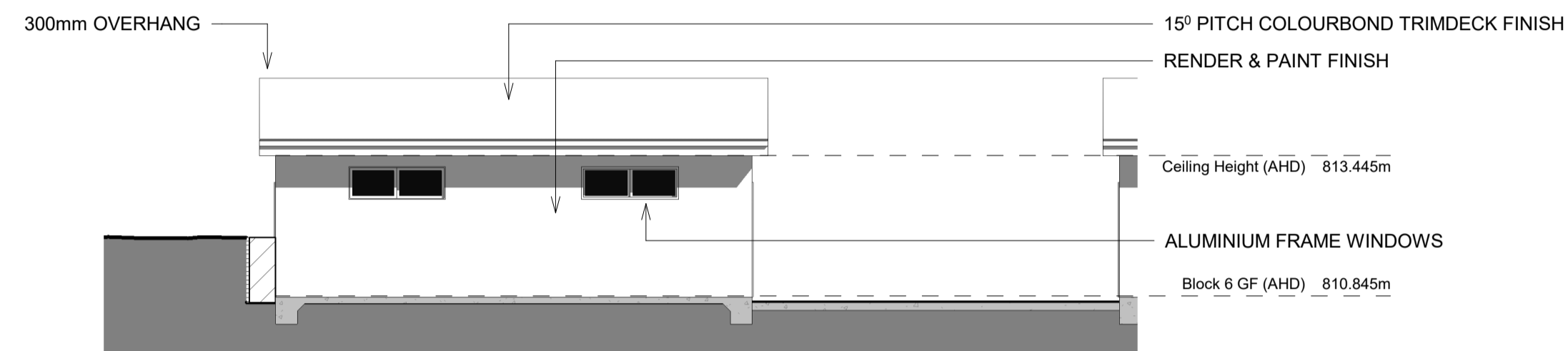
2 Rich St, Stanthrope			Plans & Elevations - Block 5	
Project number	2 Rich St	A110		
Date	15/12/21			
Drawn by	DL			
Checked by	GP		Scale	1 : 100



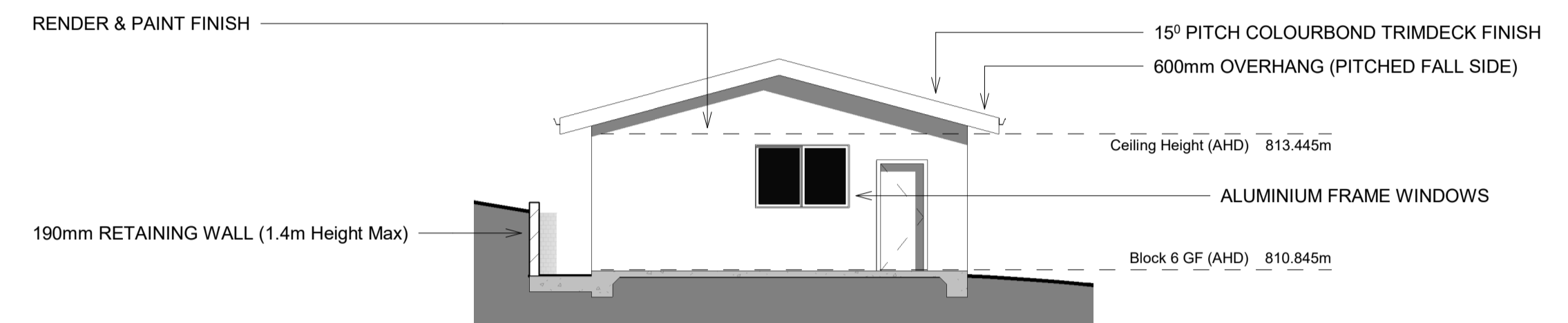
South Elevation (Block 6)
1:100



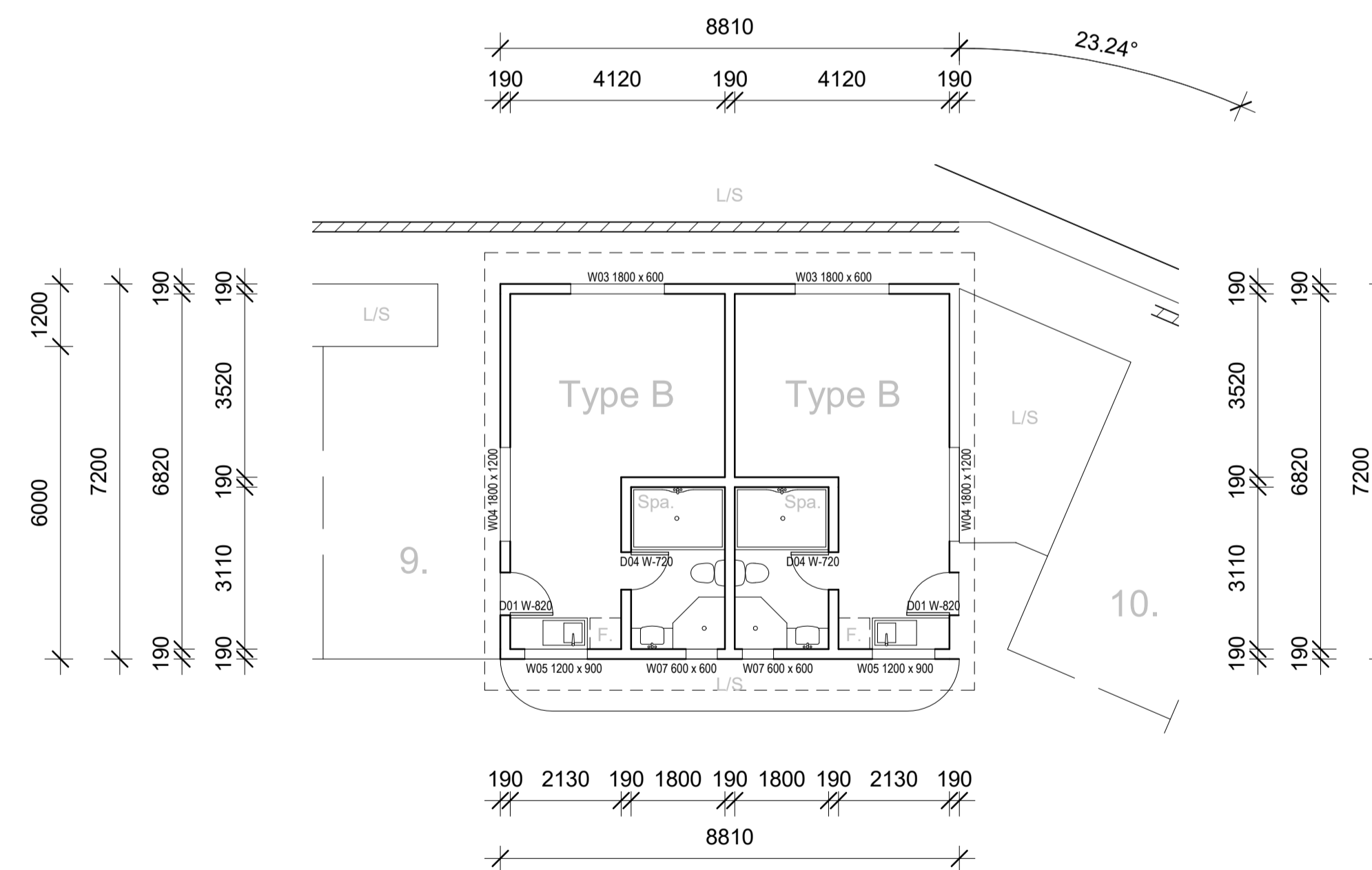
East Elevation (Block 6)
1:100



North Elevation (Block 6)
1:100



West Elevation (Block 6)
1:100



Floor Plan (Block 6)
1:100



Note:
For Details regarding Roof and Slab details Refer to Blk 1 Section Detail

Note:
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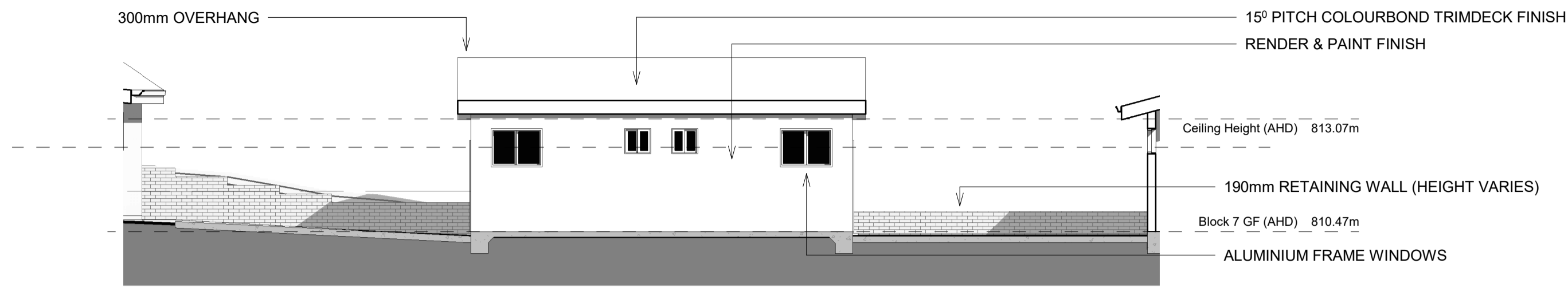
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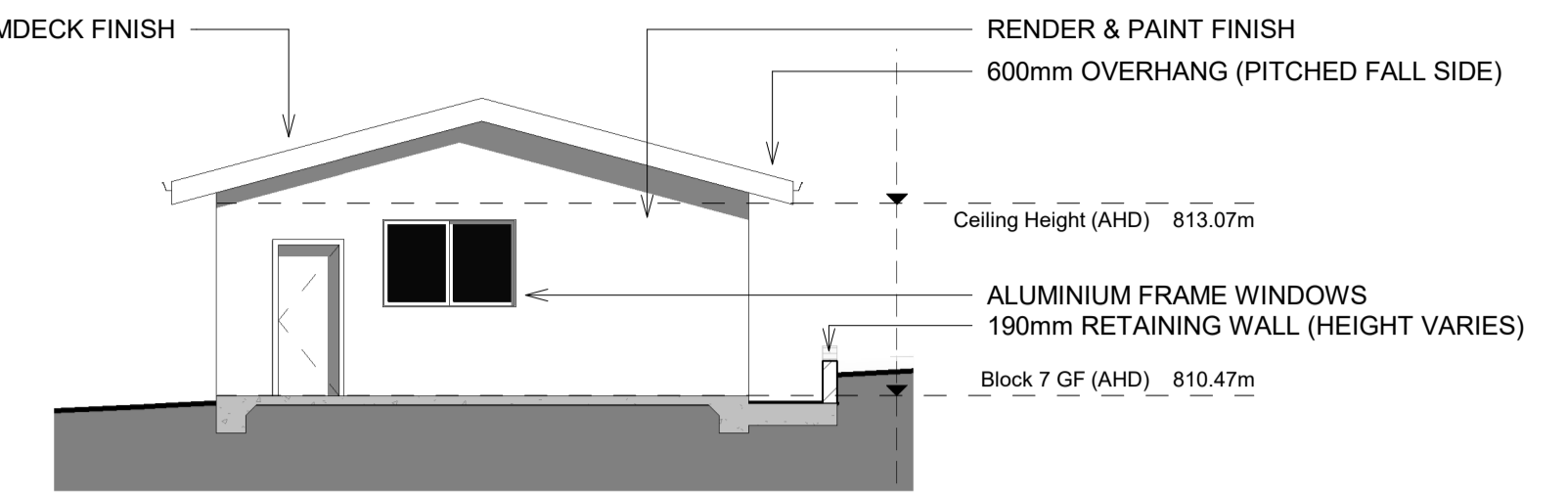
2 Rich St, Stanthorpe

Plans & Elevation - Block 6

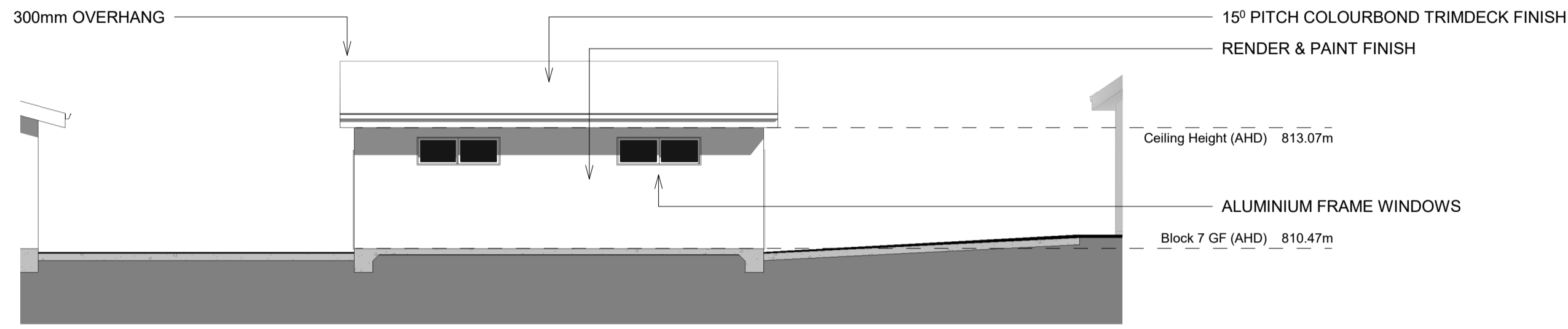
Project number	2 Rich St	A111
Date	15/12/21	
Drawn by	DL	
Checked by	GP	
Scale	1 : 100	



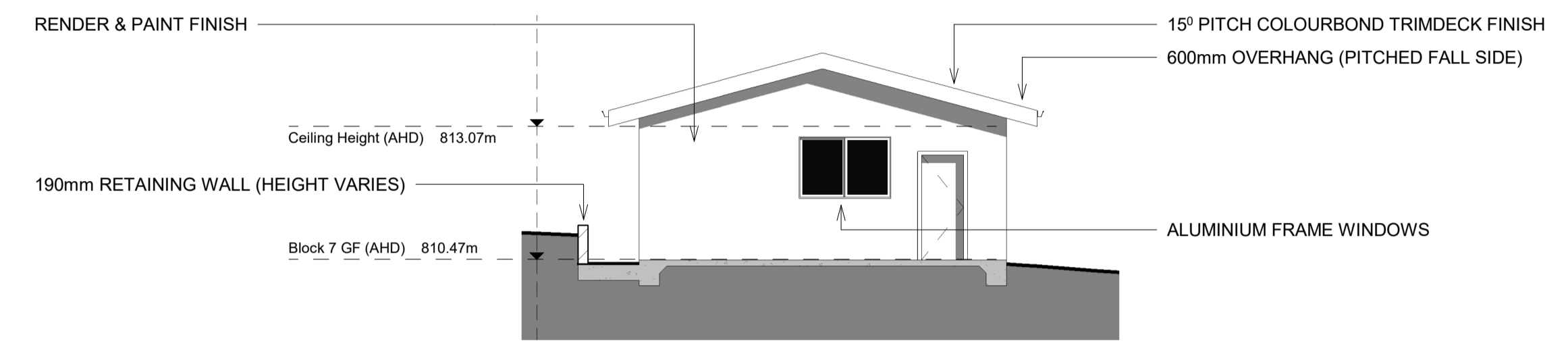
South Elevation (Block 7)
1:100



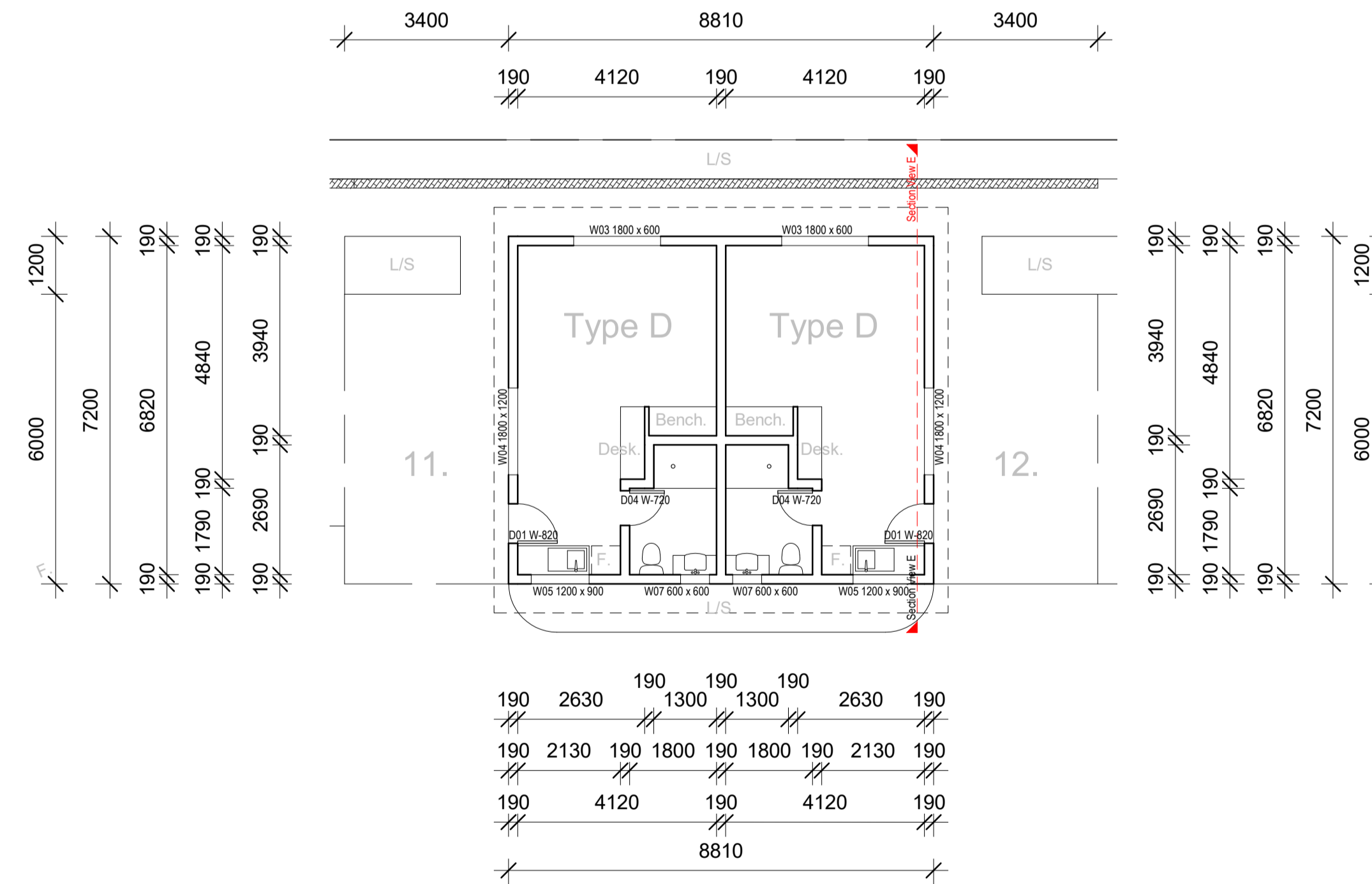
East Elevation (Block 7)
1:100



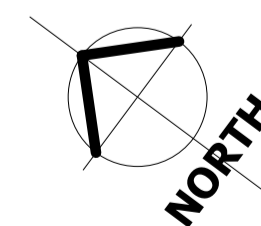
North Elevation (Block 7)
1:100



West Elevation (Block 7)
1:100



Floor Plan (Block 7)
1:100



Note:
For Details regarding Roof and Slab details Refer to Blk 2 Section Detail

Note:
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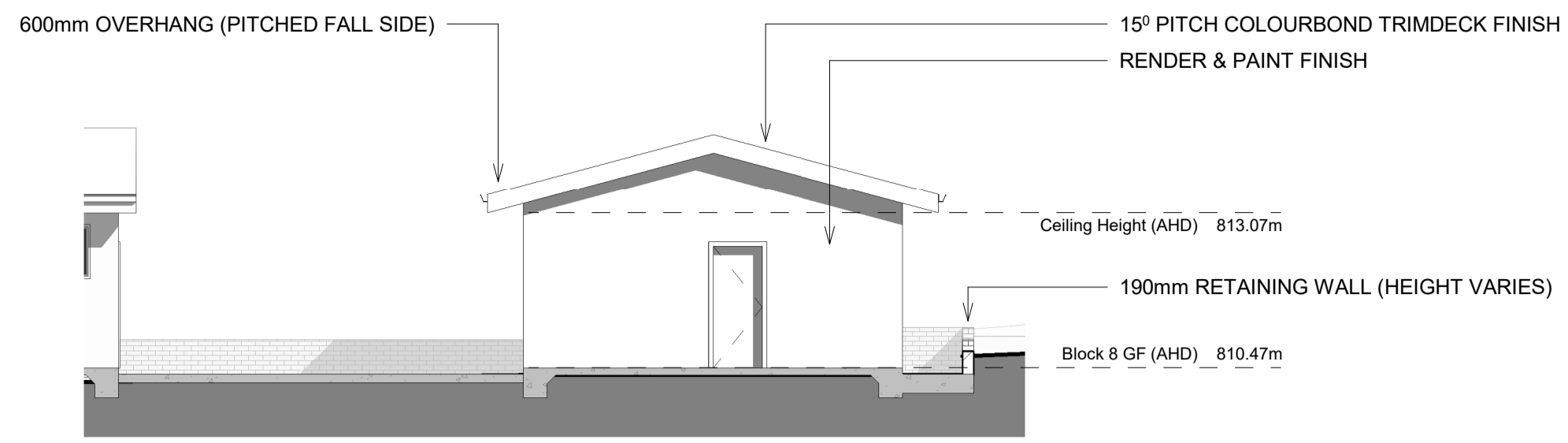


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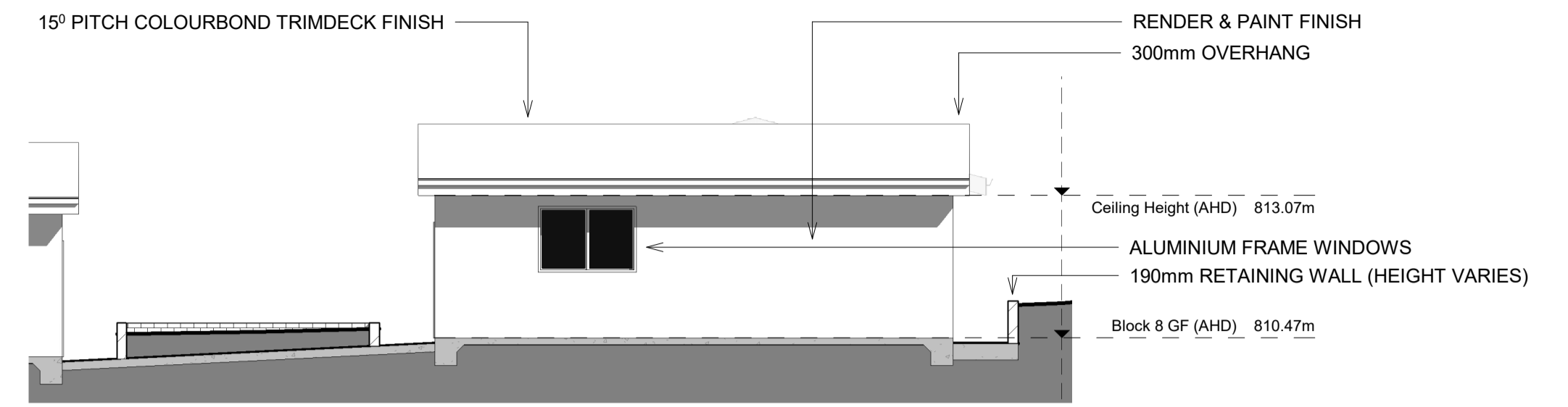
No.	Description	Date
1	Preliminary CD - For Client Review	15/12/21

2 Rich St, Stanthorpe

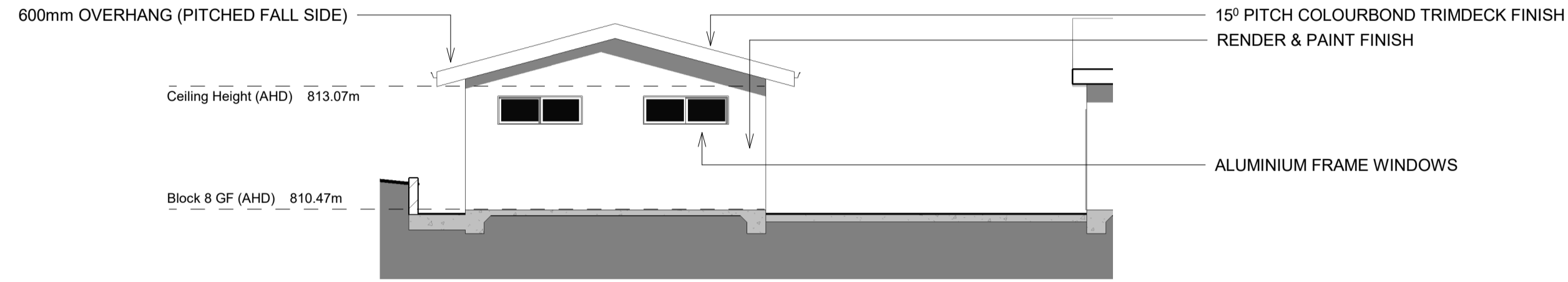
Plans & Elevations - Block 7		
Project number	2 Rich St	A112
Date	15/12/21	
Drawn by	DL	
Checked by	GP	
Scale	1 : 100	



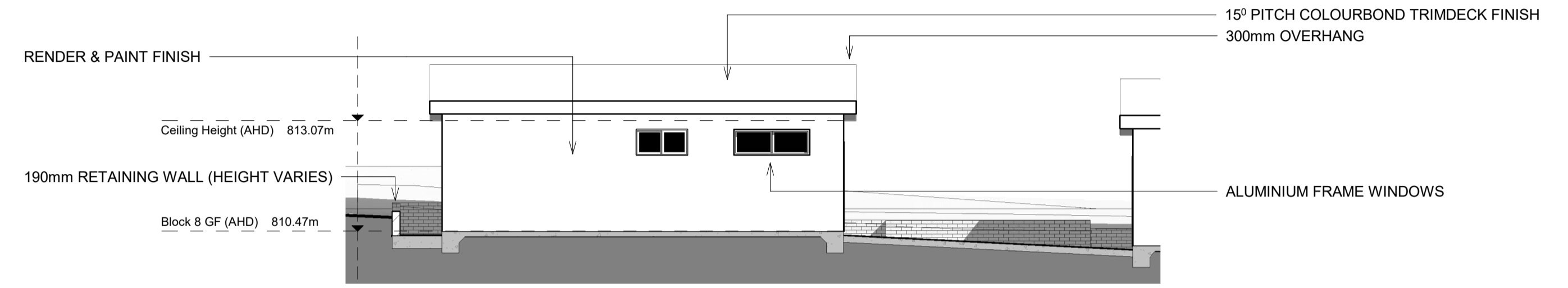
West Elevation (Block 8)
1:100



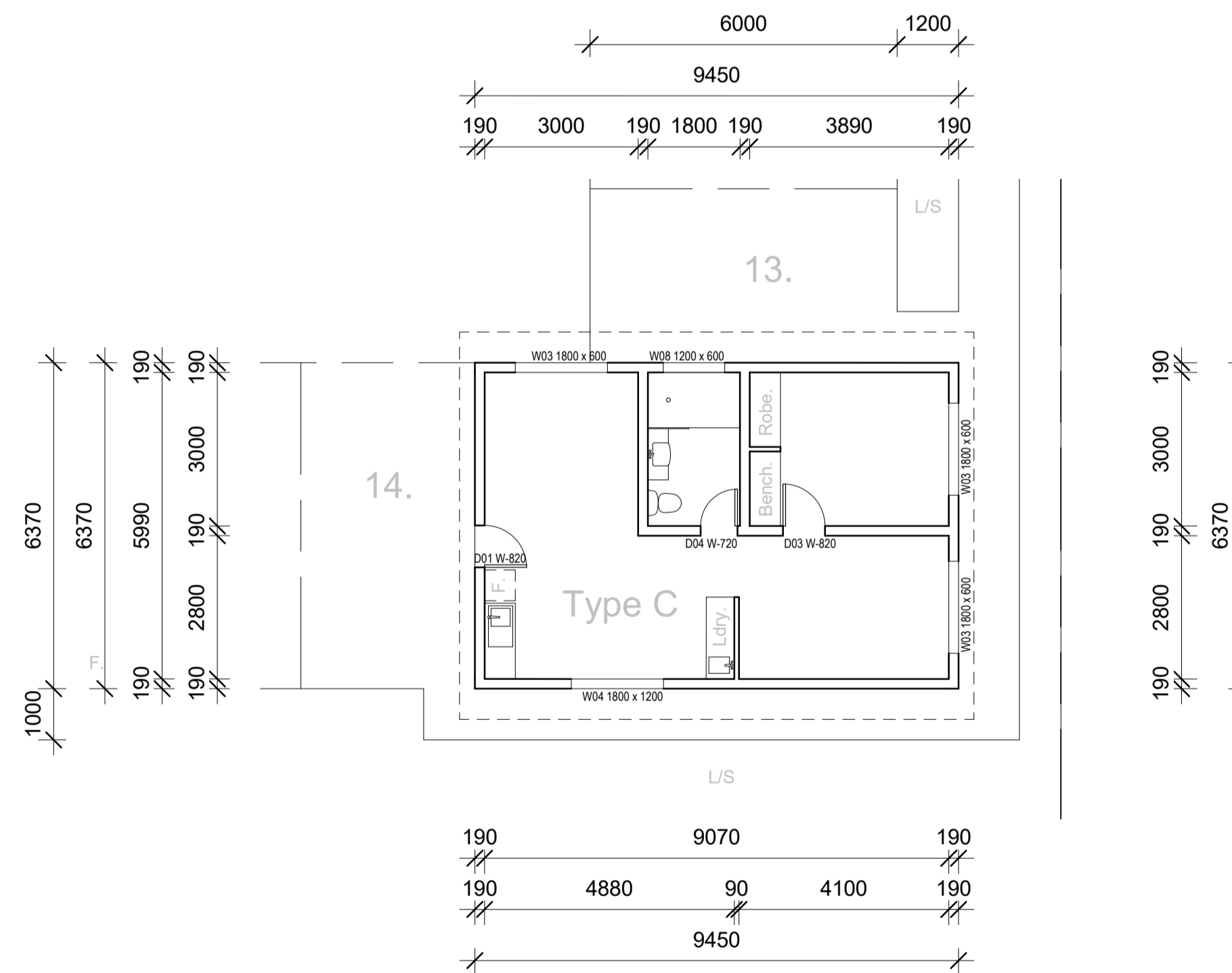
South Elevation (Block 8)
1:100



East Elevation (Block 8)
1:100



North Elevation (Block 8)
1:100



Floor Plan (Block 8)
1:100

Note:
For Details regarding Roof and Slab details Refer to Blk 3 Section Detail

Note:
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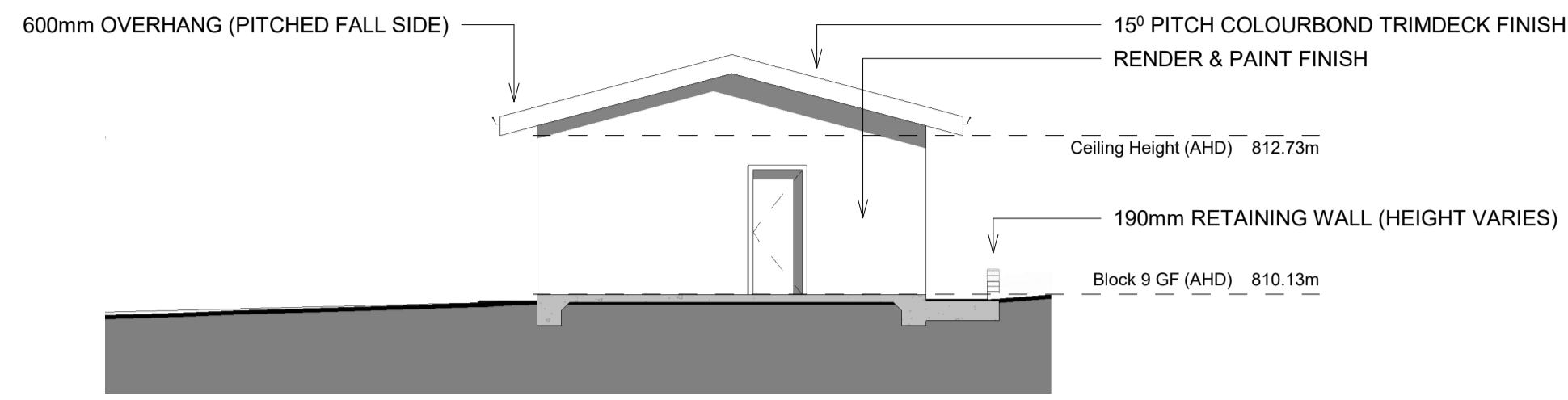
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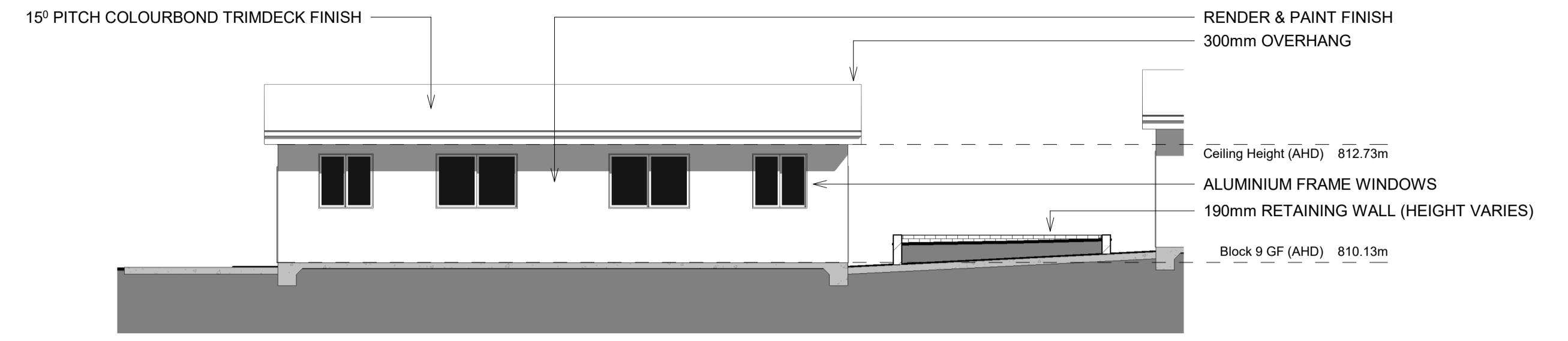
2 Rich St, Stanthorpe

Plans & Elevations - Block 8

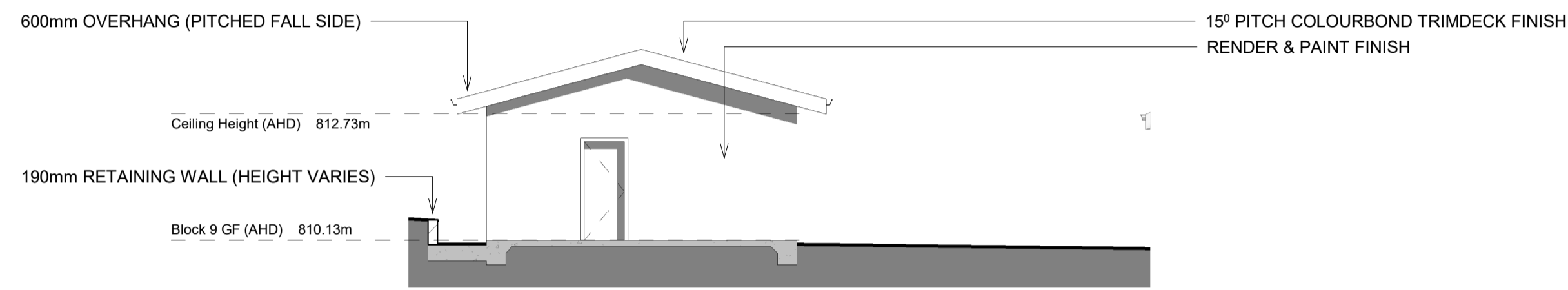
Project number	2 Rich St	A113
Date	15/12/21	
Drawn by	DL	
Checked by	GP	
Scale	1 : 100	



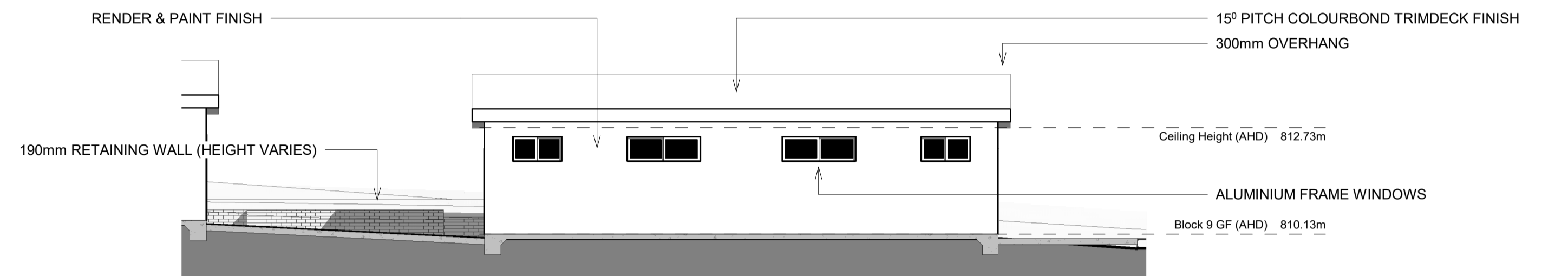
West Elevation (Block 9)
1:100



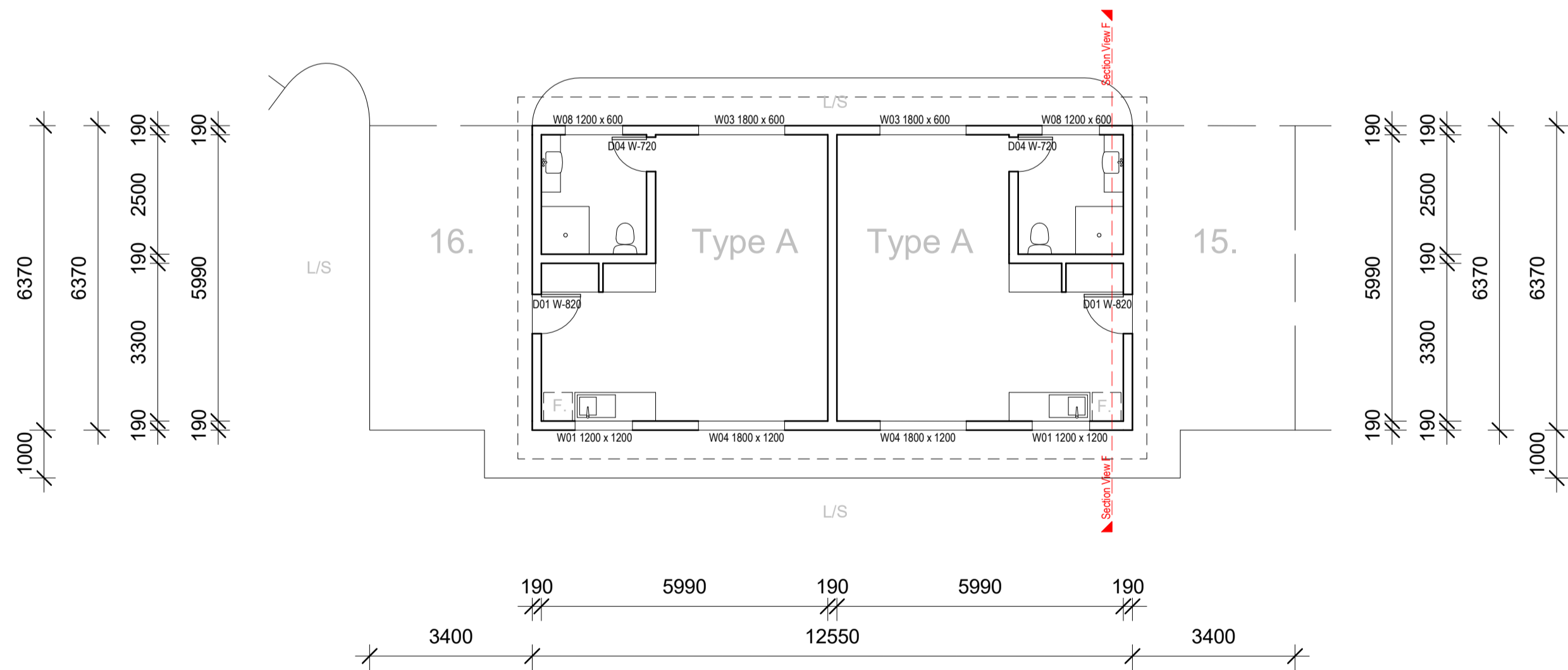
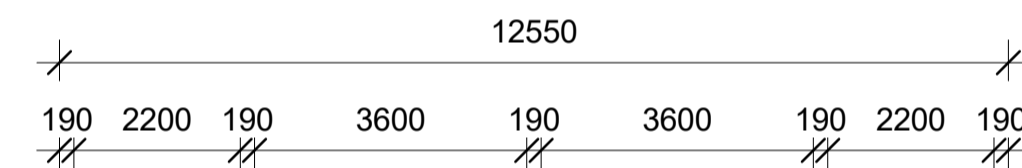
South Elevation (Block 9)
1:100



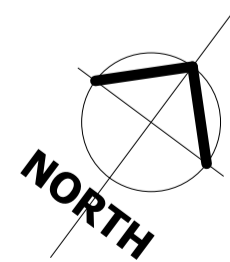
East Elevation (Block 9)
1:100



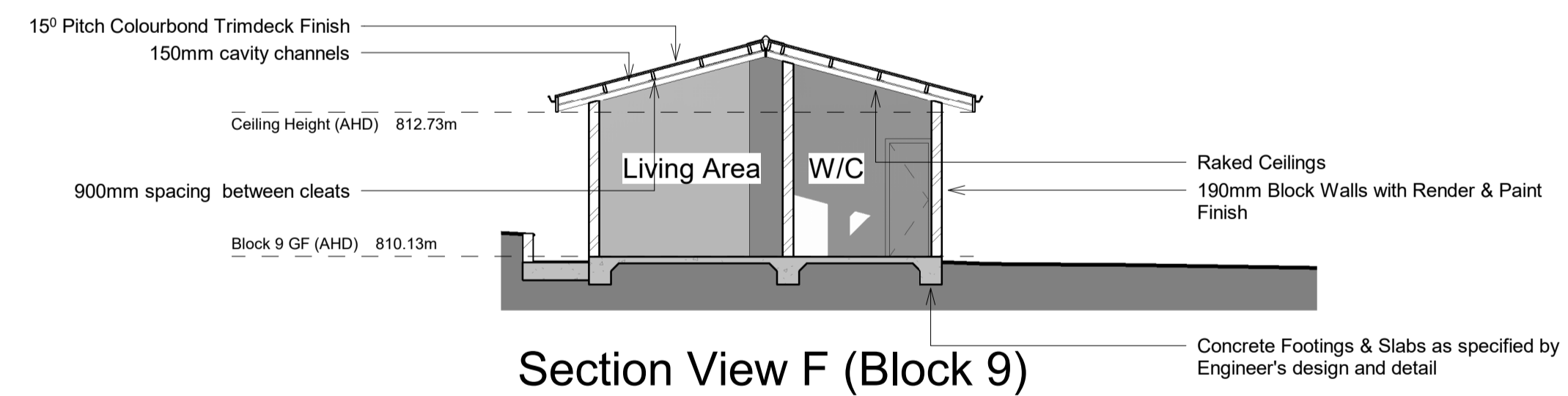
North Elevation (Block 9)
1:100



Floor Plan (Block 9)
1:100



Note:
'Type A, B, C, D' refers to the planning layout typology adopted in plan for the corresponding Block shown in plan view.



Section View F (Block 9)
1:100



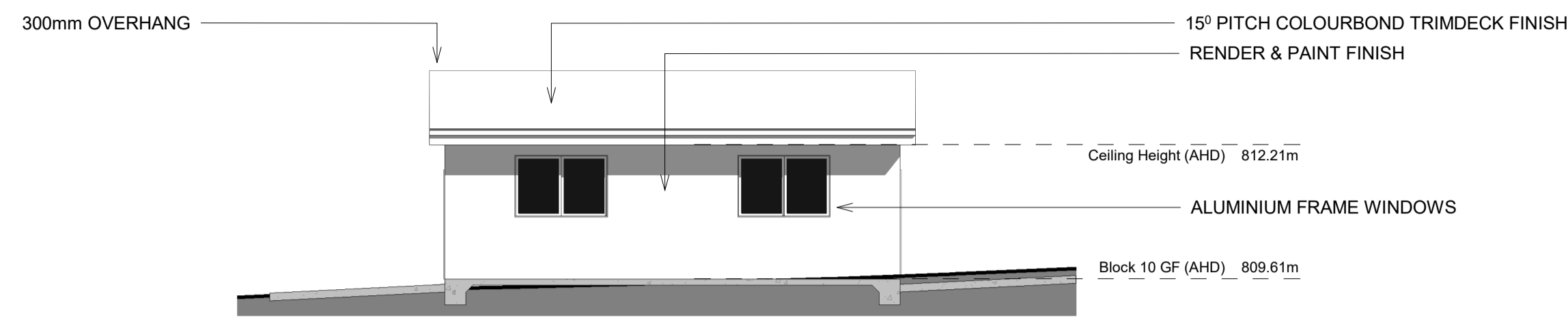
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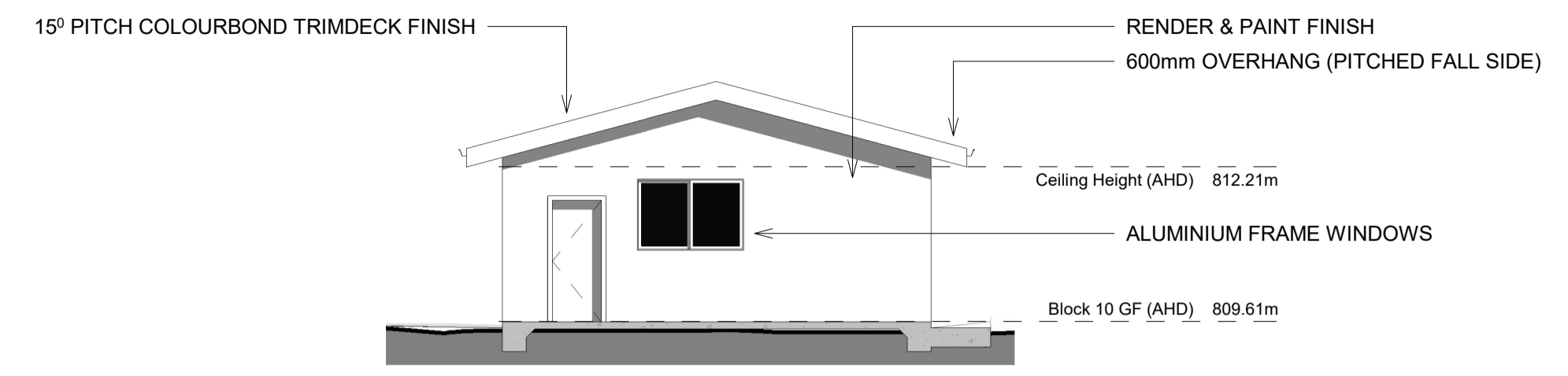
2 Rich St, Stanthorpe

Plans & Elevations - Block 9

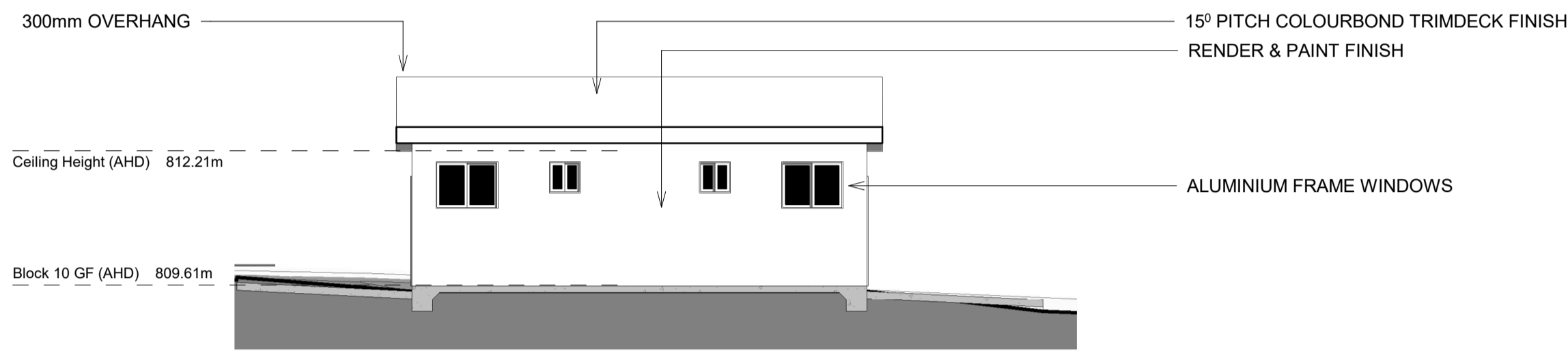
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Date	15/12/21	
Drawn by	DL	
Checked by	GP	
Scale	1 : 100	



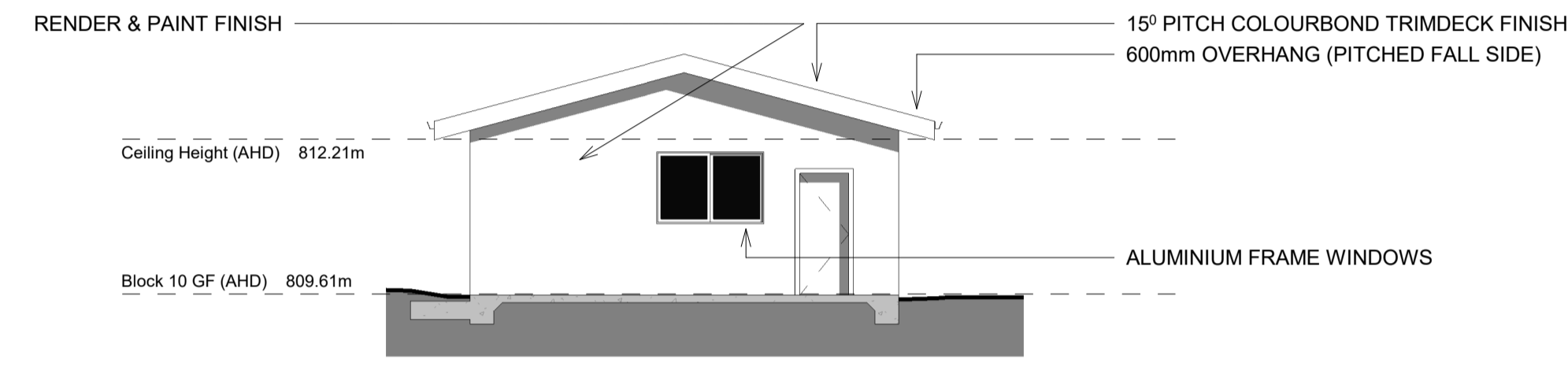
South Elevation (Block 10)
1:100



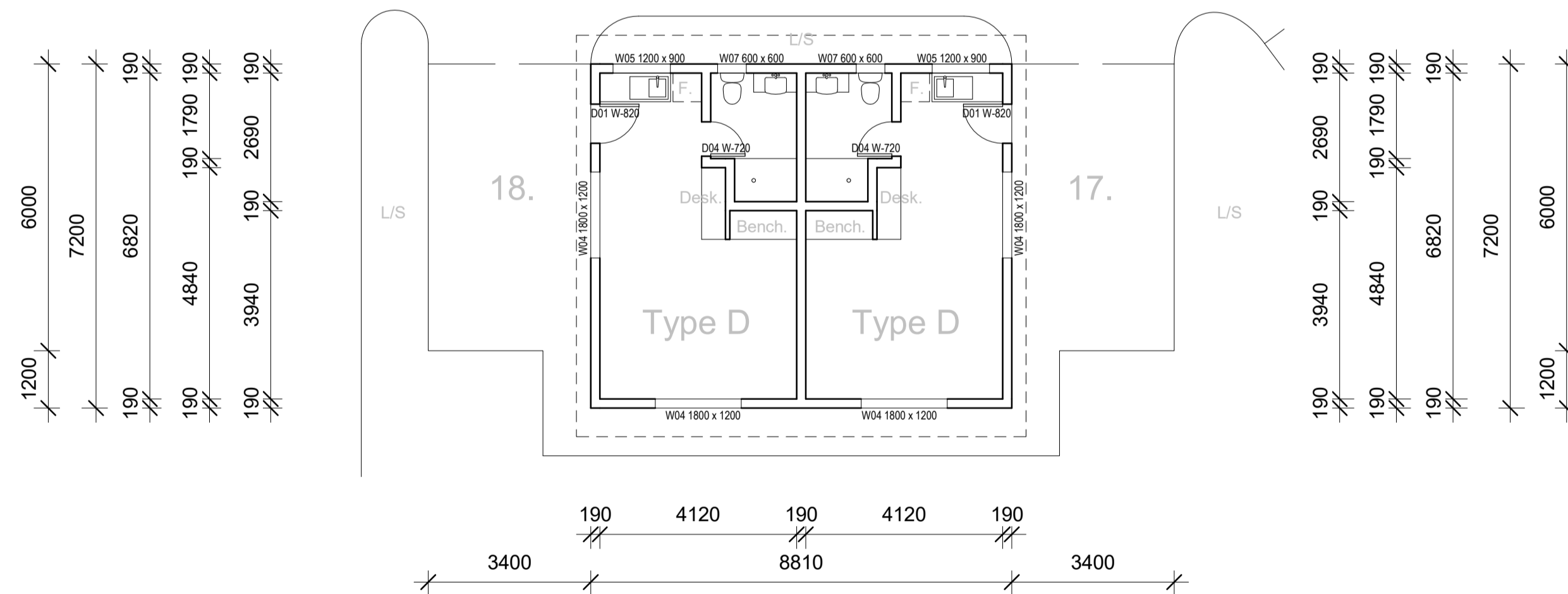
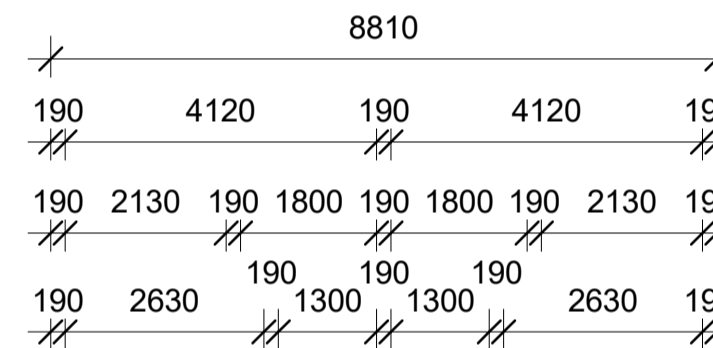
East Elevation (Block 10)
1:100



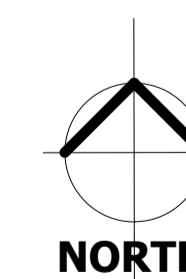
North Elevation (Block 10)
1:100



West Elevation (Block 10)
1:100



Floor Plan (Block 10)
1:100



Note:
For Details regarding Roof and Slab details Refer to Blk 2 Section Detail

Note:
'Type A, B, C, D' refers to the planning layout typology adopted in plan for the corresponding Block shown in plan view.



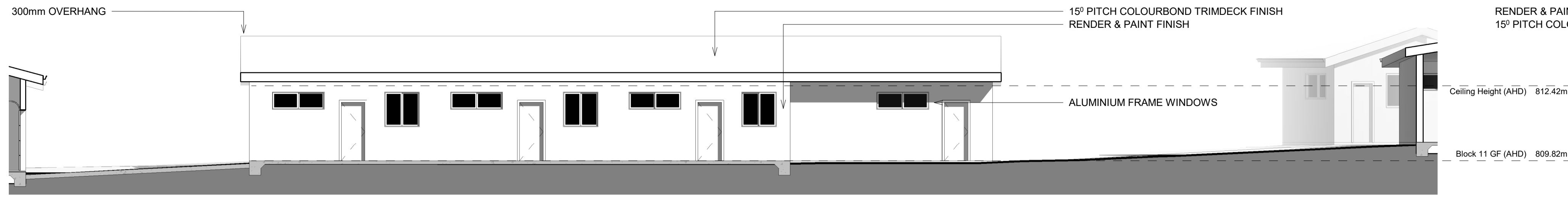
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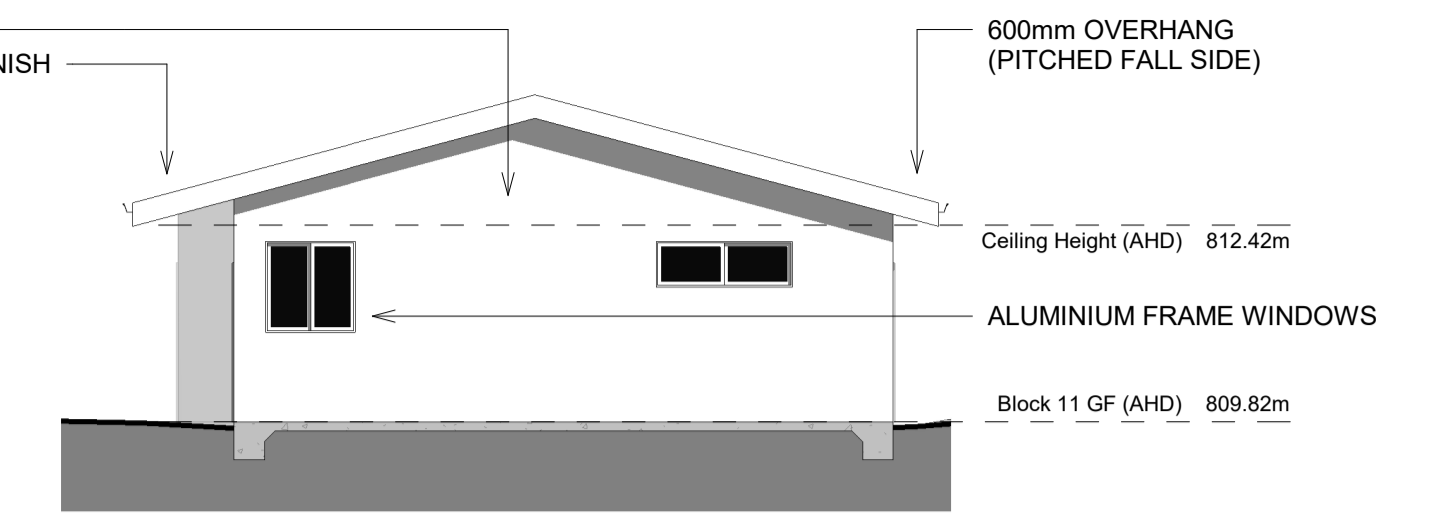
2 Rich St, Stanthorpe

Plans & Elevations - Block 10

Project number	2 Rich St	A115
Date	15/12/21	
Drawn by	DL	Scale 1 : 100
Checked by	GP	



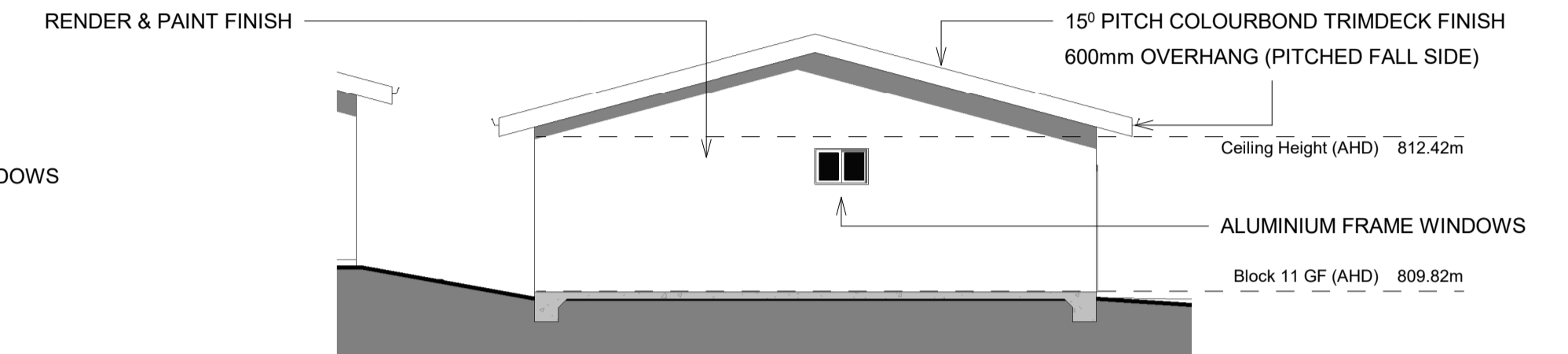
South Elevation (Block 11)
1:100



East Elevation (Block 11)
1:100



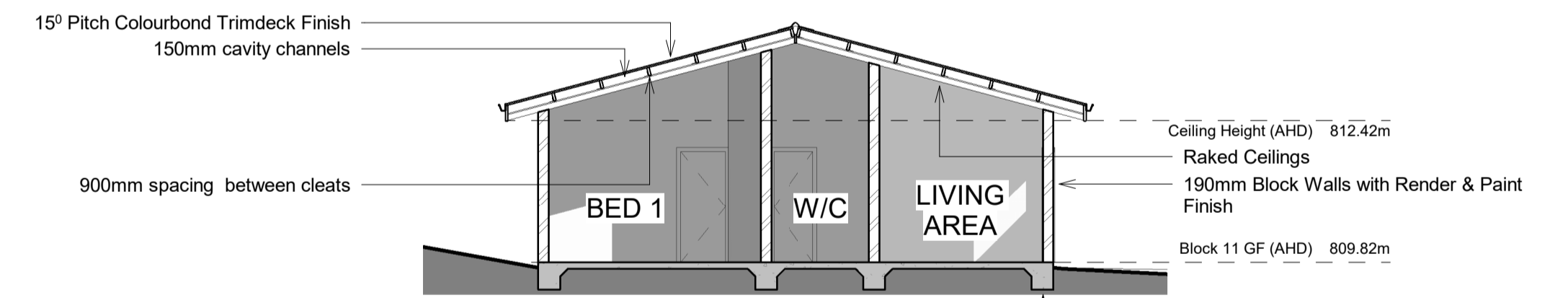
North Elevation (Block 11)
1:100



West Elevation (Block 11)
1:100



Floor Plan (Block 11)
1:100



Section Detail G (Block 11)
1:100

Note:
"Type A, B, C, D" refers to the planning layout typology adopted in plan for the corresponding Block shown in plan view.



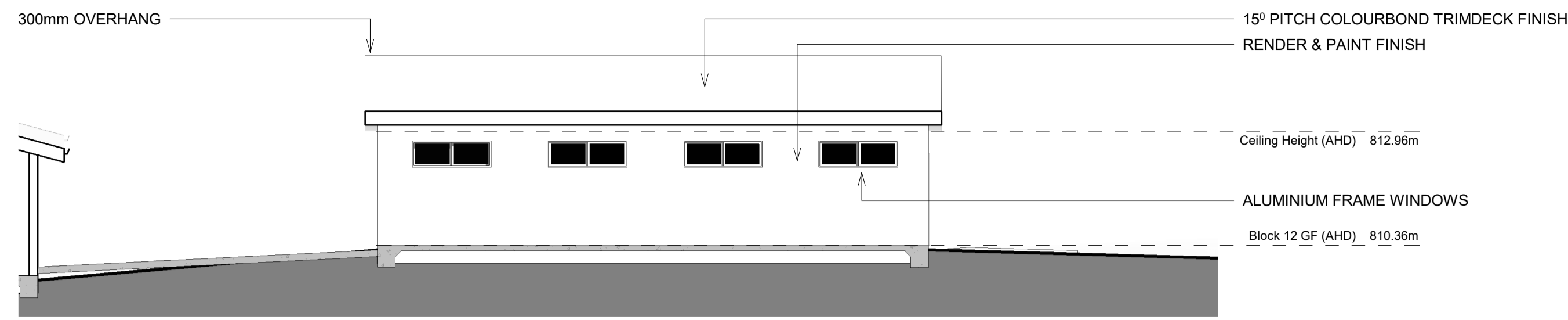
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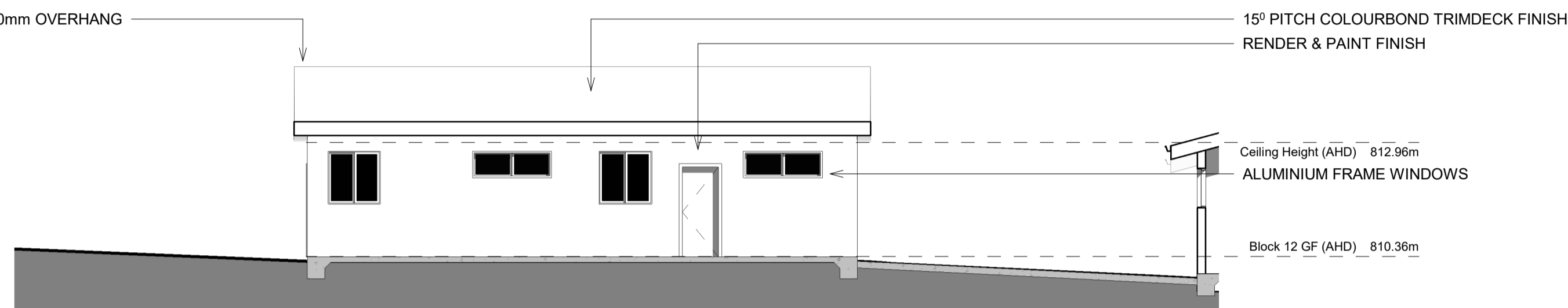
2 Rich St, Stanthorpe

Plans & Elevations - Block 11

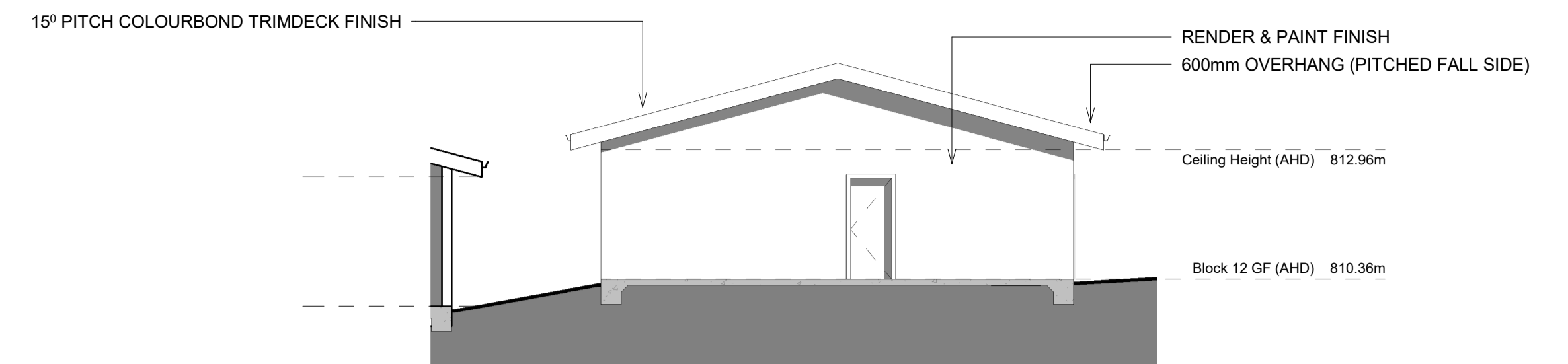
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Date	15/12/21	
Drawn by	DL	
Checked by	GP	
Scale	1 : 100	



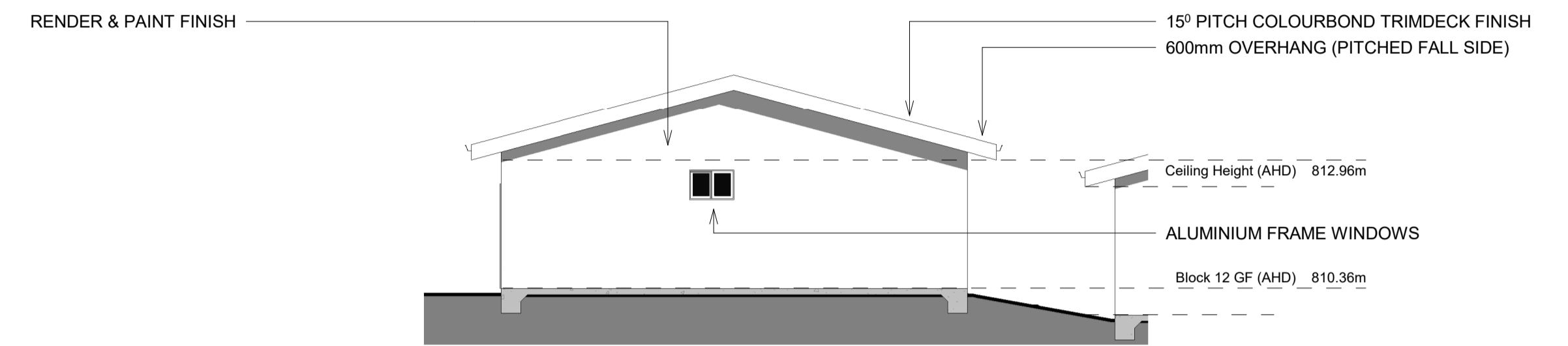
South Elevation (Block 12)
1:100



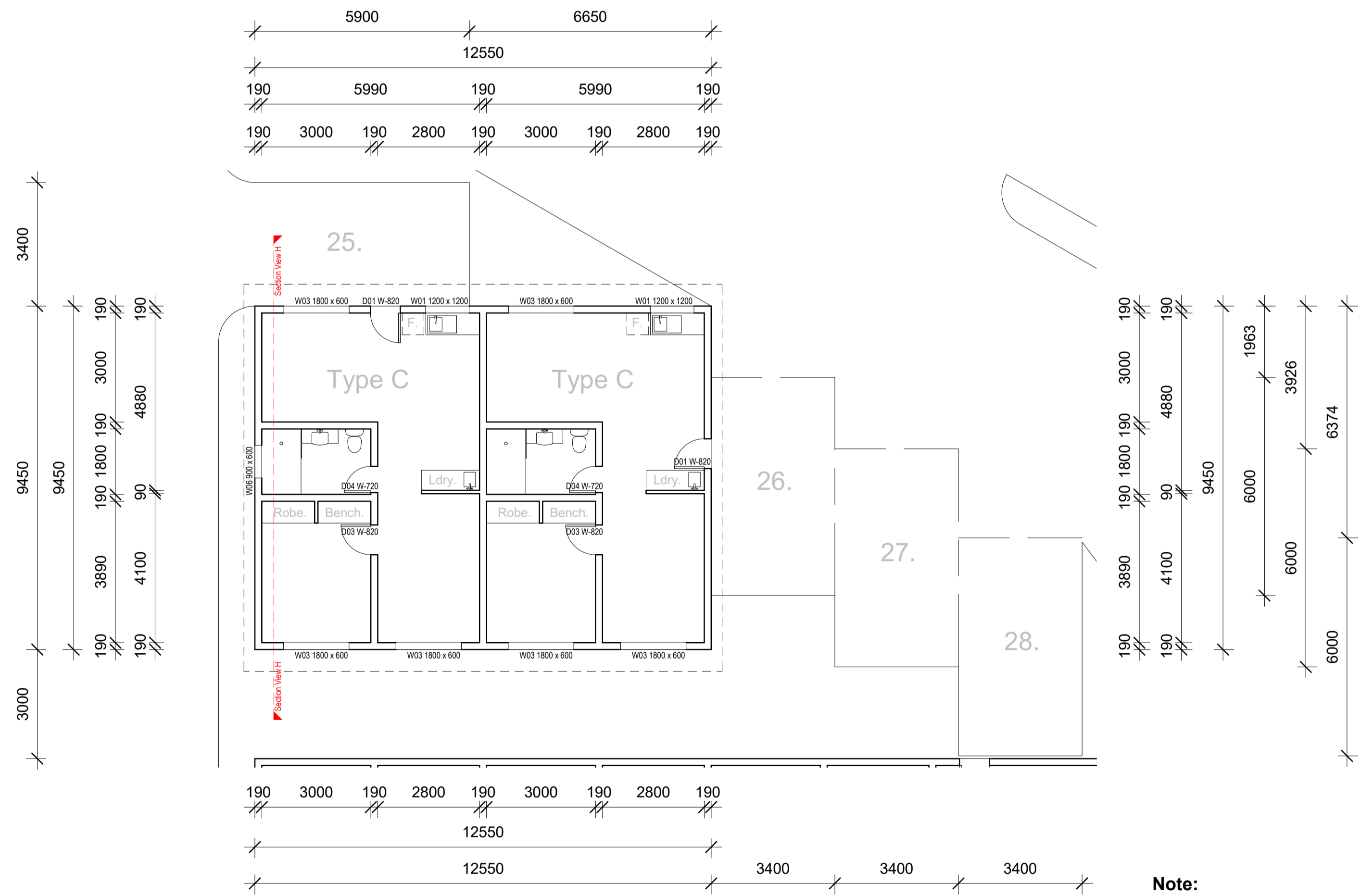
North Elevation (Block 12)
1:100



East Elevation (Block 12)
1:100

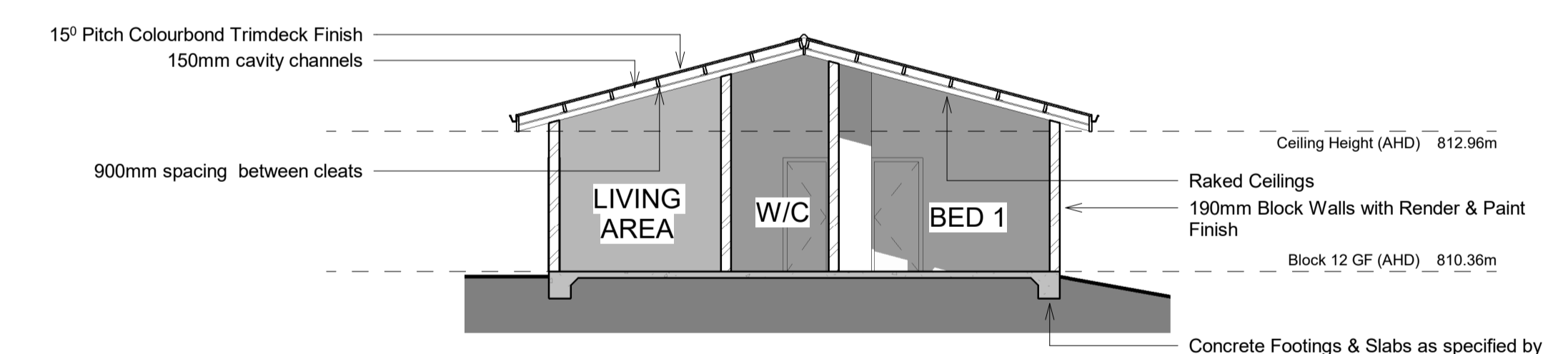


West Elevation (Block 12)
1:100



Floor Plan (Block 12)
1:100

Note:
'Type A, B, C, D' refers to the planning layout typology adopted in plan for the corresponding Block shown in plan view.



Section View H (Block 12)
1:100

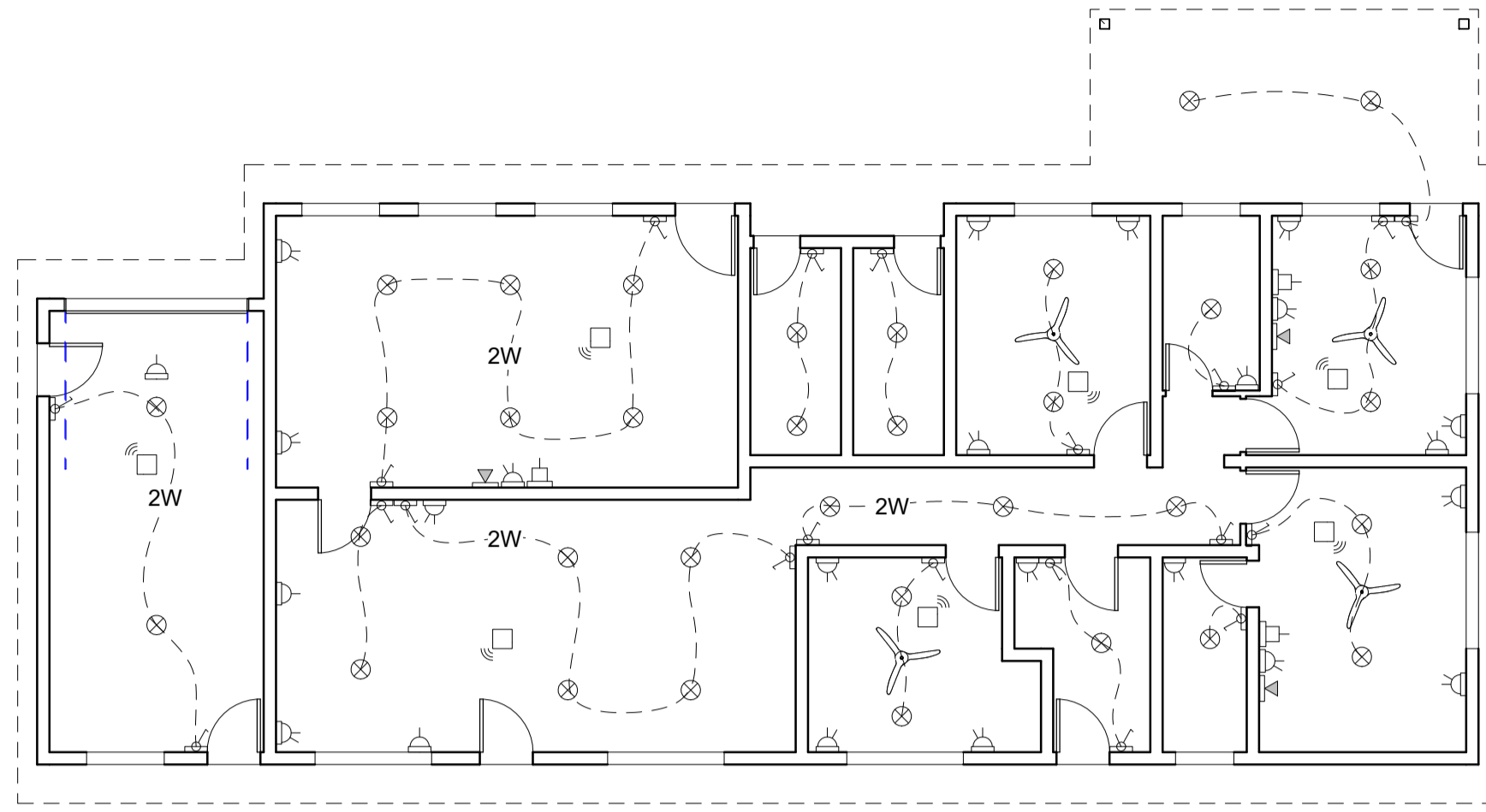


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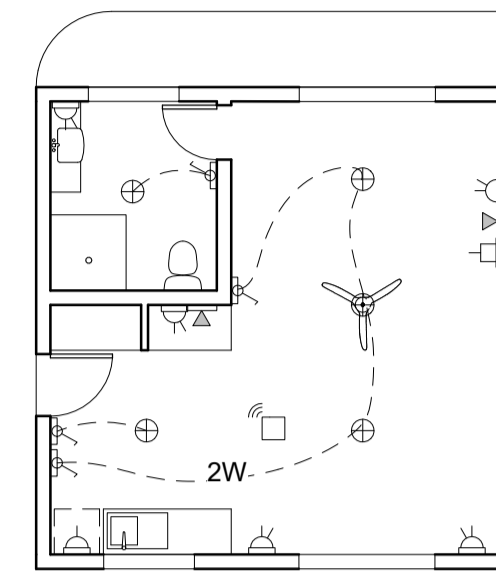
No.	Description	Date
1	Preliminary CD - For Client Review	15/12/21

2 Rich St, Stanthorpe

Plans & Elevations - Block 12		
Project number	2 Rich St	A117
Date	15/12/21	
Drawn by	DL	
Checked by	GP	
Scale	1 : 100	



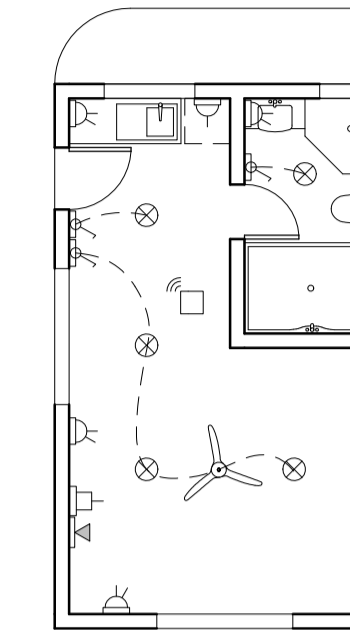
Electrical Layout Plan (Managers Office)
1:100



Electrical Layout Plan (Type A)
1:100

Note:
Electrical plan shown above reflects the layout for all Type A plans. In some instances orientation of the plan layout may be mirrored, apply an mirrored application in these situations.

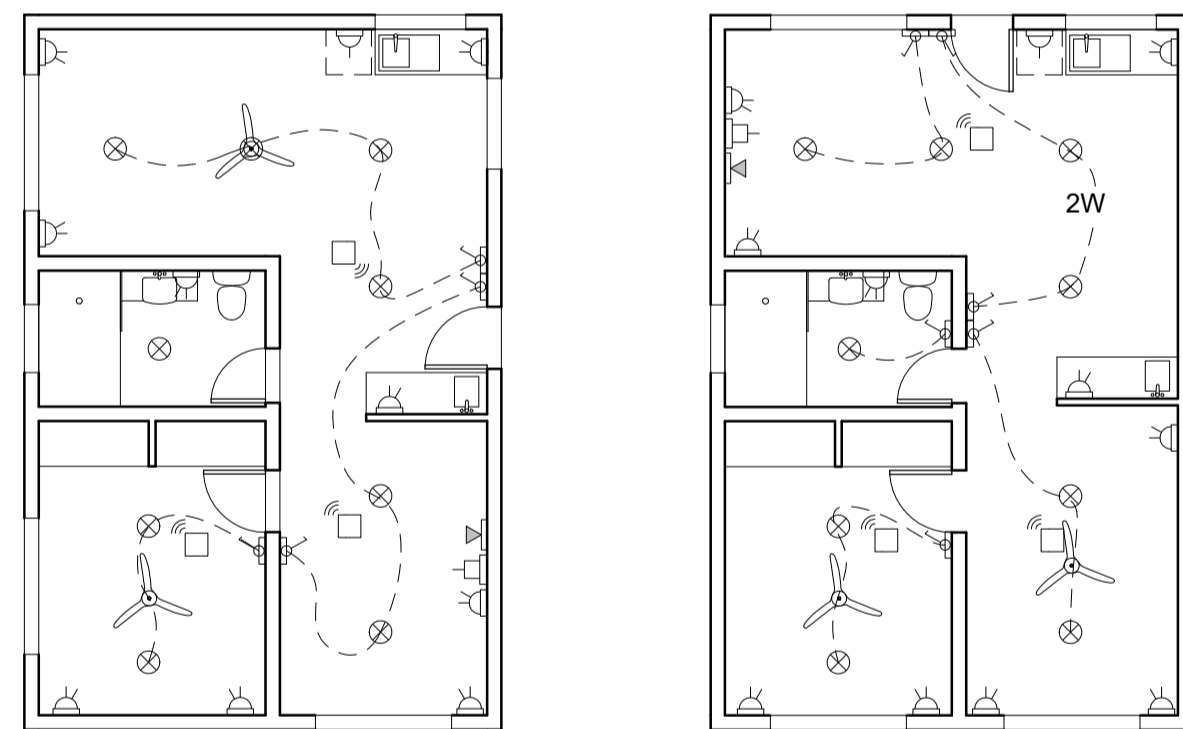
Type A Plans are present in Block 9



Electrical Layout Plan (Type B)
1:100

Note:
Electrical plan shown above reflects the layout for all Type B plans. In some instances orientation of the plan layout may be mirrored, apply an mirrored application in these situations.

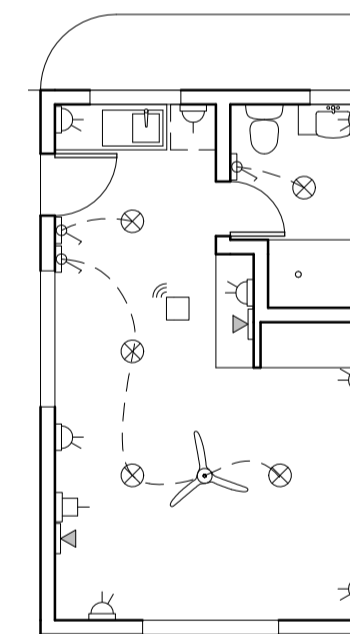
Type B Plans are present in Blocks 1, 6 & 11



Electrical Layout Plan (Type C Variants)
1:100

Note:
Electrical plans shown above reflect the layouts for all Type C plans. In some instances orientation of the plan layout may be mirrored, apply an mirrored application in these situations.

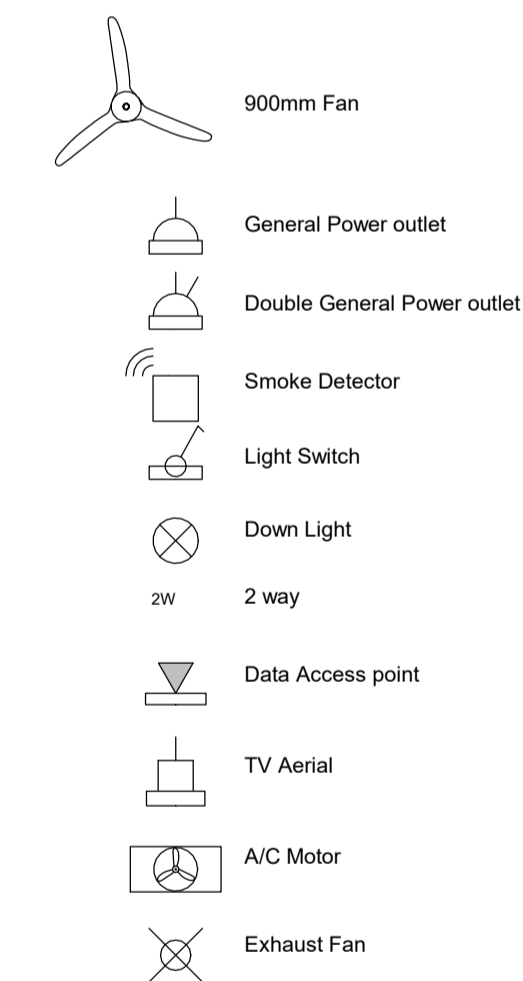
Type C Plans are present in Block 3, 8, 11 & 12



Electrical Layout Plan (Type D)
1:100

Note:
Electrical plan shown above reflect the layouts for all Type D plans. In some instances orientation of the plan layout may be mirrored, apply an mirrored application in these situations.

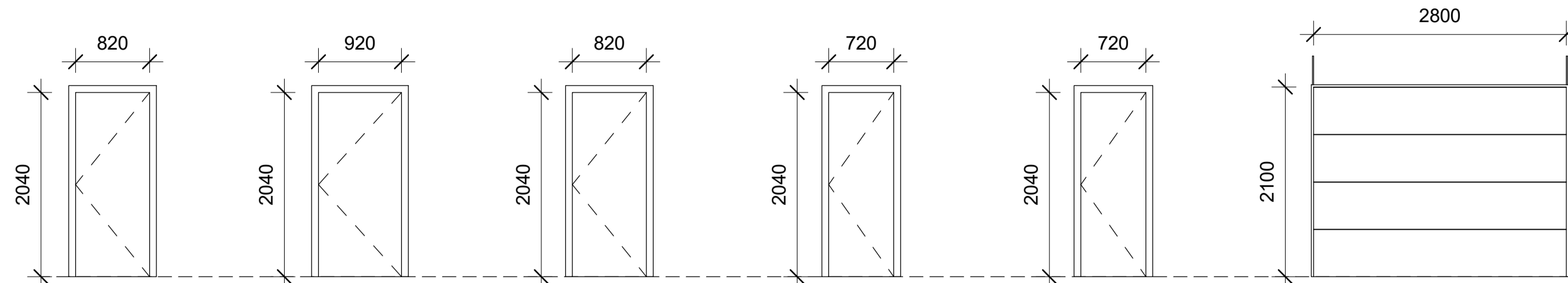
Type D Plans are present in Block 2, 4, 5, 7 & 11



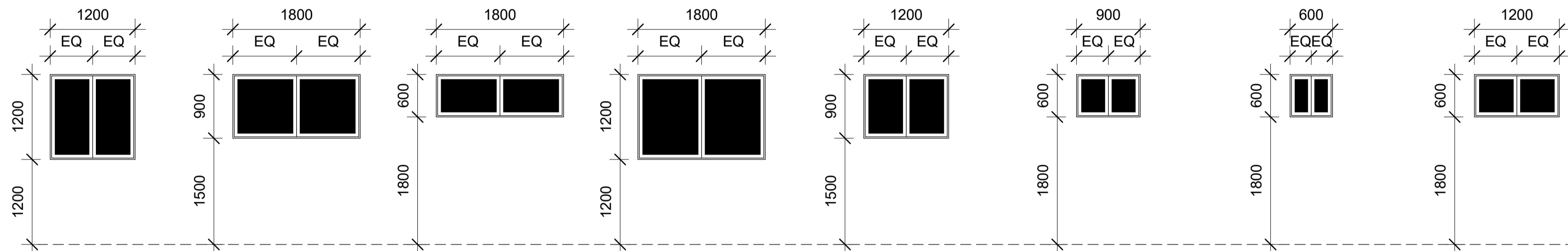
No.	Description	Date
1	Preliminary CD - For Client Review	15/12/21

2 Rich St, Stanthorpe

Electrical Layout Plans			
Project number	2 Rich St	A118	As indicated
Date	15/12/21		
Drawn by	DL	Scale	As indicated
Checked by	GP	Scale	As indicated



Code	Description	Height	Width	Quantity
D01	EXTERNAL SWING DOOR	2040	820	26
D02	EXTERNAL SWING DOOR	2040	920	1
D03	INTERNAL SWING DOOR	2040	820	16
D04	INTERNAL SWING DOOR (BATHROOM)	2040	720	26
D05	EXTERNAL SWING DOOR (BATHROOM)	2040	720	2
GD1	OPERABLE FOLDING GARAGE DOOR	2100	2800	1



Code	Description	Height	Width	Quantity
W01	SLIDING WINDOW	1200	1200	13
W02	SLIDING WINDOW	900	1800	3
W03	SLIDING WINDOW	600	1800	39
W04	SLIDING WINDOW	1200	1800	18
W05	SLIDING WINDOW	900	1200	16
W06	FROSTED GLASS SLIDING WINDOW	600	900	5
W07	FROSTED GLASS SLIDING WINDOW	600	600	13
W08	FROSTED GLASS SLIDING WINDOW	600	1200	3



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No.	Description	Date
1	Preliminary CD - For Client Review	15/12/21

2 Rich St, Stanthorpe

Window & Door Schedule		
Project number	2 Rich St	A119
Date	15/12/21	
Drawn by	DL	Scale
Checked by	GP	
		1 : 50



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No.	Description	Date

2 Rich St, Stanthrope

Renders		
Project number	2 Rich St	A120
Date	15/12/21	
Drawn by	Author	
Checked by	Checker	
		Scale

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No.	Description	Date

2 Rich St, Stanthorpe

Renders 2		
Project number	2 Rich St	A121
Date	15/12/21	
Drawn by	Author	
Checked by	Checker	
	Scale	

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No.	Description	Date

2 Rich St, Stanthrope

Renders 3

Project number	2 Rich St	A122
Date	15/12/21	
Drawn by	Author	
Checked by	Checker	
		Scale

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