

SMALL LOT HOUSES



Dedicated to a better Brisbane

BRISBANE CITY PLAN 2014 | FACT SHEET

Brisbane City Plan 2014 (City Plan) has been developed by Brisbane City Council in consultation with the community to support a simple, fast and clear development assessment process. The plan guides how land in Brisbane can be used and developed to support economic growth, while protecting our city's character and natural assets.



The City Plan allows for a variety of smaller housing options to cater for Brisbane's increasing proportion of older residents, single and couple households. The plan provides you with upfront information to consider in planning your small lot house and will help you determine whether or not you need to lodge an application with Council.

This factsheet outlines how the City Plan applies to building a house on a small lot and how to check if you need to lodge an application.

What is a small lot?

A small lot is either:

- (a) a lot with an area less than 450 square metres; or
- (b) a rear lot with an area less than 600 square metres, excluding the access way.

Do I need Council approval for a small lot development?

In most cases, if you are building a house on an existing or newly created small lot, you do not need to submit an application to Council provided you follow some basic design requirements.

A [PD Online](#) property enquiry can help you determine if the proposal requires Council approval. You can also phone Council on (07) 3403 8888 during business hours and ask to speak to a town planner.

While Council aims to assist you through the process, you may wish to engage a consultant, town planner, surveyor or other appropriately qualified professional for help with your building or development project.

Accepted development	The proposed development does not need assessment against <i>Brisbane City Plan 2014</i> .
Accepted development subject to compliance with identified requirements	For certain common development types you may not need to lodge a development assessment application (i.e. it may be 'accepted development subject to compliance with identified requirements'). To check whether or not your application is accepted development subject to compliance with identified requirements or requires a development assessment application, Council recommends you engage with an appropriately qualified professional.
Code assessable	You need to apply to Council to assess your application against the relevant codes in <i>Brisbane City Plan 2014</i> . This application will not require public notification.
Impact assessable	You will need to apply to Council to assess your application against the relevant codes in <i>Brisbane City Plan 2014</i> . Depending on the type of development, the assessment can range across all provisions of the City Plan. This application will need public notification (signage on site, notice in paper and letters to neighbours).

Brisbane City Plan 2014

Welcome to the Brisbane City Plan online (ePlan). It is effective from 30 June 2014. To use ePlan select an item from the navigation menu.

Brisbane City Plan 2014 page Brisbane City Plan 2014 mapping Temporary Local Planning Instruments Superseded City Plan 2000

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Part 9 Development codes > 9.3 Use codes Dwelling house (small lot) code

9.3.8 Dwelling house (small lot) code

9.3.8.1 Application

(1) This code applies to assessing a material change of use or building work if:

- (a) self-assessable or assessable development where this code is in an applicable code identified in the assessment criteria column of a table of assessment for a material change of use ([section 5.5](#)), neighbourhood plan ([section 5.9](#)), building work ([section 5.7](#)) or an overlay ([section 5.10](#)); or
- (b) impact assessment development for a [dwelling house](#) if on a [small lot](#) or a use of a similar nature.

(2) When using this code, reference should be made to [section 1.5](#) and [section 5.3.3](#).

Note—Where the site is also included in a neighbourhood plan, an overlay code such as the [Flood overlay code](#), [Flood overlay code](#), [Landslide overlay code](#), [Significant leachate area overlay code](#) or [Adverse conditions overlay code](#), additional provisions relating to that also apply. For example, minimum floor levels for a [dwelling house](#) on a site subject to certain types of flooding, are identified in the [Flood overlay code](#).

Note—Where the site is located may be subject to a zone, zone precinct, neighbourhood plan or overlay code, these may vary the outcomes identified in this code and to the extent that these vary, those outcomes prevail.

Note—Preliminary approvals or development permits for other aspects of development can vary the outcomes of this code and to the extent that these vary, those outcomes prevail.

Editor's note—Depositing or allowing sediment or other water contaminants to wash or move into roadways, stormwater pipes and waterways without taking appropriate steps to prevent this occurring, is a breach of the [Environmental Protection Act 1994](#). Penalties apply including fines and prosecution. Additional information, including best-practice guidelines for controlling stormwater pollution from building sites and fact-sheets on erosion and sediment control, can be found on the South East Queensland Healthy Waterways [Water by Design program website](#).

Editor's note—For a proposal to be self-assessable, it must meet all the self-assessable acceptable outcomes of this code and any other applicable

This is a section from the Dwelling house (small lot) code in the ePlan, which lists the criteria for dwelling houses.

How can I assess my own small lot house development?

To assess your own development, you need to meet the acceptable outcomes of the [Dwelling house \(small lot\) code](#), and any relevant overlay and neighbourhood plan codes. Even if you meet the acceptable outcomes and are not required to lodge an application, you will still need a building certifier to approve the work before starting construction.

What are the design requirements for a house on a small lot?

Because of the smaller size of the site, the [Dwelling house \(small lot\) code](#) includes specific requirements for setbacks, site cover and building height to protect you and your neighbour's amenity and privacy.

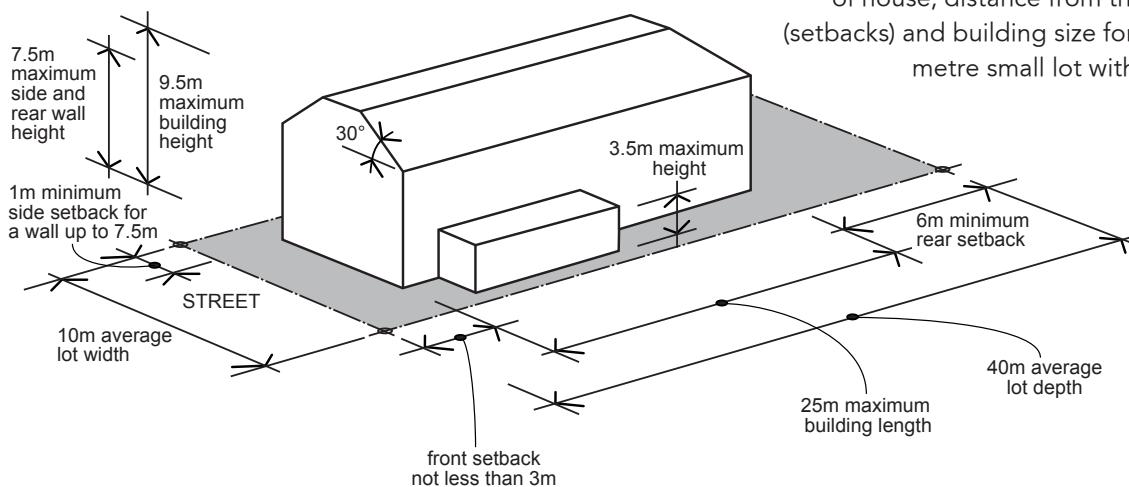
An indicative building envelope is shown below. These will vary depending on the development type and location. This is a section from the [Dwelling house \(small lot\) code](#) in the ePlan, which lists the criteria for dwelling houses.

House height

As the acceptable standard in most residential zone precincts, a maximum 9.5 metre house height applies to the highest point of the roof. Rear and side wall heights cannot be higher than 7.5 metres and the maximum pitch to the highest part of the roof top cannot exceed 30 degrees.

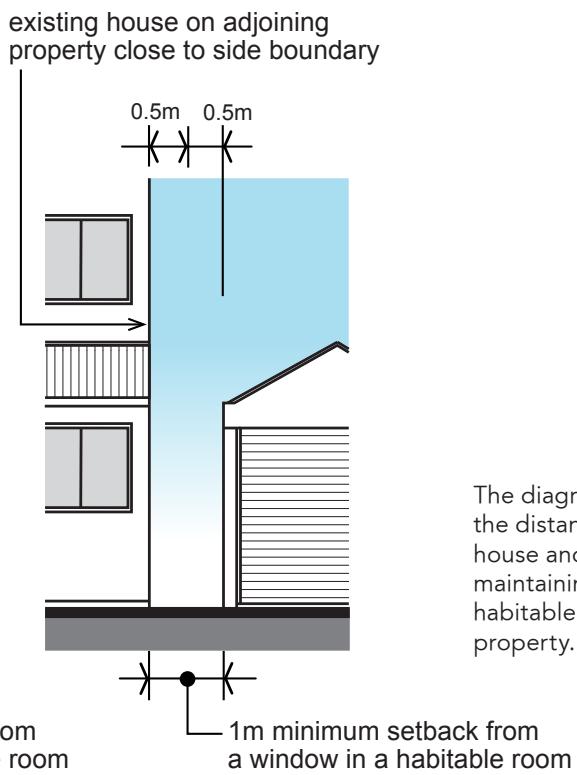
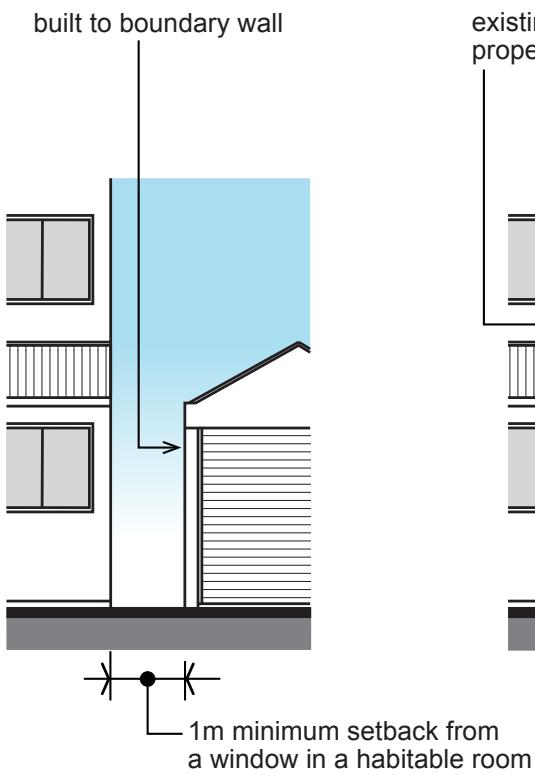
A side wall built to the boundary may only be up to three metres high and up to nine metres long. The section below details where built to boundary walls are permitted.

EXAMPLE OF A BUILDING ENVELOPE



This diagram above shows the required location of house, distance from the property boundary (setbacks) and building size for a typical 405 square metre small lot with one street frontage.

EXISTING HOUSE ON ADJOINING PROPERTY CLOSE TO THE SIDE BOUNDARY



The diagram shows examples of the distance between the small lot house and the boundary wall while maintaining 1 metre between the habitable rooms of the adjoining property.

Distance to neighbouring properties

House setbacks, particularly on smaller lots, are designed to minimise noise, maintain privacy and reduce shadowing impacts on neighbouring properties. Depending on the site and the existing neighbouring development, the allowable side setbacks may vary.

The acceptable standard is that a distance of one metre is required between the side wall of your house and the habitable rooms of neighbouring houses. Depending on your zone and the location of the habitable rooms on adjoining properties, you may be able to build closer to your side boundary.

Other design requirements

The [Dwelling house \(small lot\) code](#) outlines several other critical design considerations that must be met before it can be determined if an application to Council is required (or whether it may be 'accepted development, subject to compliance with identified requirements'). Refer to Council's online [ePlan](#) (electronic version of *Brisbane City Plan 2014*) to read more about these criteria.

How do overlays and neighbourhood plans affect my small lot development?

Overlays and neighbourhood plans may add certain requirements or considerations to your small lot

development. These requirements are detailed in the [overlay](#) and [neighbourhood plan](#) code/s that apply to your property

If certain overlays apply to your property, such as the [Heritage overlay](#), you will need to apply for Council approval, regardless of your house design. For other overlays, such as the [Waterway corridors overlay](#), if certain criteria specified in the overlay code can be met, an application to Council is not required. If those criteria are not met, an application to Council must be made.

Example

Mrs Smith's property is within a Local waterway corridor overlay. To be excused from lodging an application her house must meet the acceptable outcomes of the [Waterway corridors overlay code](#), including being set back a minimum of 15 metres from the centre-line of the local waterway corridor.

If her house does not meet these criteria, Mrs Smith will need to lodge a development application with Council. This is separate to Council's development approval.

Visit www.qbcc.qld.gov.au for more information about building approvals and building certifiers.



Tips for determining if you need to lodge an application

- If you are assessing your own small lot house, we recommend you engage a building certifier or consultant to confirm that you do not need to apply to Council.
- A building certifier must approve any work before you start construction. This is separate to Council's development approval. Visit www.qbcc.qld.gov.au for more information about building approvals and building certifiers.

How can City Plan help with my small lot development?

The City Plan [interactive mapping](#) tool allows you to view your property on a map to see the overlays and neighbourhood plans that apply to your site. The maps are colour and number coded to help you clearly identify the relevant zones and precincts within an area.

More information

You can lodge your application by emailing dalodgement@brisbane.qld.gov.au You may wish to engage a consultant town planner, surveyor or other appropriately qualified professional to prepare the application for you.

You can also attend one of the [Talk to a Planner](#) sessions that Council holds throughout the year to speak to a Council officer in person.

For more information about [City Plan](#) and to access the [interactive mapping](#) tool, visit www.brisbane.qld.gov.au and search for *Brisbane City Plan 2014* or call Council on (07) 3403 8888. If you would like to be kept up to date with future services and general planning and development in the city, you can register your details by emailing CP2014@brisbane.qld.gov.au

Disclaimer: The content of this information sheet is a summary and has been prepared to assist the reader to understand the City Plan. Please refer to the full City Plan document, entitled *Brisbane City Plan 2014*, on Council's website for further detail.

