

Yarrabilba Home Design Guidelines



YARRABILBA

Created by

lendlease

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INTRODUCTION

Community Vision

Yarrabilba will fuse the beauty of the natural environment with the convenience of a modern urban community that provides places to live, learn, work and play. The parks, streets and community facilities will be designed to optimise community interaction, while the mix of education, retail, mixed use and jobs provided in the community allows all of life's activities to take place in the community.

Everyone who builds at Yarrabilba helps to make the streets and parks a great place to live and an attractive part of the pedestrian, cycle and open space network. These Home Design Guidelines set down requirements for all single residential lots and allow your home and landscape to be a positive influence on the great streets and parks at Yarrabilba.

Yarrabilba Home Design Guidelines

These Home Design Guidelines set out the minimum requirements for new homes and their front yard landscapes in Yarrabilba. They are a condition of your Contract of Sale and apply in addition to any other statutory requirements. All building and landscape designs must be approved by Lendlease prior to obtaining your Building Approval.

Some blocks in Yarrabilba have special requirements for the home and landscape; these requirements seek specific outcomes for homes in key locations throughout the community. Blocks with special requirements are defined on the Sales Plans and require both these Home Design Guidelines and the special requirements to be met.

Additional information is included in your Contract of Sale covering the number of dwellings permitted on your block; plan approval and building times; the period these Home Design Guidelines apply; site maintenance requirements prior to building; and Lendlease supplied fencing.

If you have any questions regarding the requirements in these guidelines, contact Lendlease on 07 3027 3237 or at yarrabilbadesignsupport@lendlease.com to see how we can help.

Lendlease encourages diverse and innovative design at Yarrabilba. Any application that is not in accordance with the Home Design Guidelines but exhibits positive community and design outcomes may be granted approval.

Compliance Bond

A \$1,000 Compliance Bond is required to be paid at the time of signing the paperwork for the purchase of your block of land to ensure adherence to the Yarrabilba Home Design Guidelines.

The compliance bond is placed into a trust fund and once you have completed all works you can apply for this bond to be returned. Any forfeited bonds will get reinvested into Yarrabilba through landscape works that will benefit the broader community.

If a builder purchases land and enters a house and land contract with a third party, the builder is responsible for the payment of the compliance bond to Lendlease and for requesting reimbursement. The builder may not pass this responsibility onto the third party without prior written consent of Lendlease.

After checking that you've met all the conditions outlined on the compliance bond checklist on page 15, fill in the compliance bond return form on page 16 and return it to Lendlease to organise your compliance bond inspection.

Fibre Optic Connection

At Yarrabilba, fibre optic cable is installed into every street to provide access to high speed internet, free to air television and telecommunication services.

This service, provided by Opticomm, has specific requirements regarding connections. For more information visit www.opticomm.net.au or contact 1300 137 800.

DESIGN APPROVAL PROCESS

You must receive Design Approval for your home and landscape plans from Lendlease prior to obtaining any relevant building approvals. Assistance is available to help you through each step of the approval process, call Lendlease on 07 3027 3237 or email yarrabilbadesignsupport@lendlease.com

1. Design your home:

While designing or selecting your home, work through the Yarrabilba Home Design Guidelines with your selected builder or architect.

2. Submit plans for Design Approval:

Complete the checklist and Design Approval Form included on pages 13 and 14 of this document and submit it with your plans at yarrabilbadesignsupport@lendlease.com or through the Lendlease Builder Hub at www.lendleasebuilderagenthub.com.au

You must obtain your Design Approval no later than 12 months after the settlement of your land.

3. Receive Design Approval:

Lendlease will assess and approve your plans once they meet the standards set out in this document. Assuming all required information is supplied and the design complies with these guidelines, approval should take no more than two weeks.

4. Building Application:

Provide a stamped copy of your Lendlease Design Approval as part of your Building Approval Application to your council/building certifier.

5. Construction:

Prior to and during construction your block should be maintained and free of rubbish.

Construction of your new home and driveway must commence within 18 months and be completed within 30 months of the settlement date of your land.

6. Moving in:

On completion of your house and driveway you can move in.

Your front garden must be landscaped in accordance with the landscape requirements within six months of moving in.

7. Final Approval & Return of Compliance Bond:

Once you have completed all works within the required timeframe, complete the compliance bond checklist and form on pages 15 and 16 and return them to Lendlease. Your bond will be returned after an inspection, providing all requirements have been satisfied.

DESIGN REQUIREMENTS

This section outlines the minimum requirements for your home and front yard landscape.

Setback Plans

Setback Plans are created for each lot in Yarrabilba. Your Setback Plan shows the minimum ground floor setbacks from each boundary of your allotment

When you lodge your building approval, the approving authority must ensure your home complies with the Setback Plan, so be aware of them as you design or select the home for your block.

Contact Lendlease should you require any further information regarding setbacks.



Typical home built to its setback plan showing:

- A** Setback to garage
- B** Garage built to boundary
- C** Portico projected forward of front wall
- D** Side and rear boundary setback

Façade Design

Great streets include well designed homes and high quality front yard landscaping complementing each other.

Single storey homes

- Single storey homes must include articulation between the alignment of the front wall and the garage on the primary frontage.
- The minimum acceptable alignment variation is 560mm. It is preferred that the garage is setback behind the front wall, however if your garage is the forward protruding element, the maximum distance of protrusion is one metre, and the roof above your entry must project forward of the garage roof.



Typical single storey home façade showing:

- A** Step between front wall and garage 560mm to 1 metre
- B** Covered entry area with roof projecting forward
- C** Eaves to primary street frontage façade, including garage

Double storey homes

- Double storey homes which incorporate a minimum depth 1.5 metres covered verandah / balcony to the first floor for at least 40% of the home width do not require variation between the front wall and the garage.

Many other elements of these design guidelines also impact the design of your façade, for example, the requirements listed in Eaves and Building Materials also apply. Other elements also impact on the aesthetics of your home. You should consider:

- Windows facing the street work best when they complement the house style and make up at least 20% of the front façade.
- Roofed elements such as extended eaves, entries and verandahs forward of the front wall as well as recessed windows and doors, give your house a sense of depth.



Typical double storey home showing:

- A** Garage and front not required to be articulated
- B** Covered verandah minimum 40% of width

Entry

Good home design is welcoming to residents and visitors. Some elements to consider include:

- Ensure your entry is visible to the street and includes a roofed area such as a porch, verandah or portico.
- Highlight the entry by ensuring that the roof over the entry extends forward of the roof of the house.



Typical approach to entry with:

- A** Planting beside driveway
- B** Covered entry pushed forward
- C** Pedestrian path separate from driveway for safety



Typical side entry:

- A** Path to highlight front door
- B** Covered entry area

Secondary Frontages

Homes on corners or with park frontage must address both the front and side streets and any frontage visible from a park.

○ Homes on corners or with park frontage must provide feature windows and detailing to match the front elevation along the secondary frontage or extend the detailing of the primary street façade to the front four metres of the secondary frontage.

- Elements to address the detailing requirements within the first four metres shall include the continuation of the front façade's two materials and finishes, or the inclusion of windows, or enhanced planting and fencing.



Home on corner lot showing:

- A** Primary frontage treatments continued 4 metres around corner
- B** Articulation of roof and walls to secondary frontage
- C** Side fencing setback 4 metres behind front wall

Eaves

Eaves enhance the look of your home, boost solar performance and have a positive impact on the quality of the streetscape. While eaves must be provided to any of your home's frontages visible to a street or park, we recommend that you consider eaves to all aspects of your home.

- Your roof must incorporate 450mm minimum deep eaves to any street or public open space frontage.
- Eaves are required to extend over garage doors, and wrap around a minimum of 1.5 metres from the front wall. Eaves are not required to sections of the façade finished to the boundary, parapet, verandah, pergola or patio.



Eaves on the primary frontage of a home over:

- A Eaves above the garage and front wall
- B Entry area roof extended beyond the eaves

Roof Pitch & Form

The roof on your home is a significant part of the visual presence that your home contributes to an attractive streetscape.

For your roof to be in balance with your home and others in the street, it is recommended that the pitch of a hip or gable is a minimum of 20 degrees. The pitch of a skillion roof is recommended to be between 7 degrees and 15 degrees. Other roof forms can also be considered where they complement the architectural style of the home and contribute positively to the streetscape.



Hip and gable approach to a roof showing:

- A A hip end to the pitched roof form
- B A gable end and entry portico with gable



Skillion roof form showing:

- A Counterpointed skillions to give home a sense of balance
- B Skillion over the entry area

Building Materials

Building materials that complement the architectural style of your home add greatly to its streetscape appeal.

- Your façade must be shaded by a substantial covered verandah or include at least two different materials or finishes that draw attention to your home's entry and reduce the visual impact of the garage door.
- Unfinished materials including blockwork, highly reflective or unpainted materials are not permitted. All external surfaces are to be in a finished state (painted or coated) prior to the occupation of your home.
- Steel roofing materials of any profile cannot be used as the predominant wall material of your home.

Other elements to consider include:

- Highly reflective window tints detract from the look of your home and should not be used to any street-facing frontages.
- Built elements in the landscape such as fences, courtyard walls and letter boxes should use materials that complement those in your house.



Two approach to materials on a house showing:

- A** Two materials to the front of the house
- B** A covered verandah with a façade with only one material.

Garages & Driveways

Garages and driveways can have a negative impact on the street when they dominate the home and landscape.

- Driveways and paved areas within your property cannot exceed 300mm wider than your garage door.
- Driveways across the verge must comply with local council requirements and widths cannot exceed three metres for a single garage or 5 metres for a double garage.
- Driveways must be offset at least 300mm from your side boundary.
- Your driveway must be complete before you occupy your home.
- Acceptable driveway materials include stone cobbles, pavers, exposed or finished concrete, or plain concrete with a combination of these elements.

Additional elements to consider include:

- Garage doors on the primary frontage should be no wider than 50% of the width of the block.
- Any garage door should not exceed 5.4 metres wide.
- Where a triple garage is allowed by the local authority, the additional door should not exceed 3 metres wide and should be articulated between the garage doors with both garage doors setback behind the front wall.



Typical driveway showing:

- A** Driveway across verge cannot exceed 5 metres
- B** Triple garages must be stepped and setback from the front wall

Front Landscape

Quality front landscaping enhances the positive impact your home will have on the streetscape.

- Your front yard including the council owned verge must be landscaped within six months of moving into your home.
- At least 50% of your front yard must be landscaped with grass and garden beds (and cannot be paved, concrete or hardstand). A significant portion of this area must include gardens with trees or shrubs capable of growing to three metres tall and at least 600 mm high when planted.
- Landscaping is required to the strip between your driveway and the side boundary.

Other elements to consider in your landscape include:

- It is preferable to include a pedestrian path separated from the driveway between the front door and the front of your block, for pedestrian safety.
- On corner blocks, planting to secondary frontages should include additional trees or shrubs.
- Select plants that are suitable for your lifestyle, the local climate and your block. Advice on plant selection is available from the Lendlease Sales Office.



Typical front yard showing 50% softscape with:

- A Trees and shrubs capable of growing to 3 metres
- B At least with 50% grass and gardens with significant plantings



Typical landscape secondary frontage:

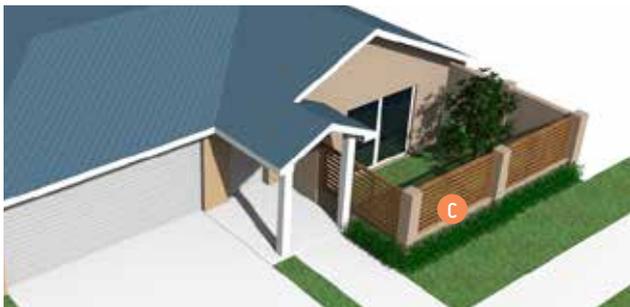
- A Additional trees and shrubs to secondary frontage
- B Front yard landscape returns around corner



Fencing & Screening

Well designed fencing has a positive impact on your house and the street. Generally it is preferred that your landscape flows from the street to the front of your home; however, if fencing forward of your home creates usable outdoor space, you may choose to fence the space in a way that adds quality and activation to the street.

All fencing is subject to local authority requirements.



Typical front fencing showing:

- A** Detailed front fence with screen planting
- B** A front fence returning to side fence which stops 1 metre behind the front wall
- C** Typical front fencing showing courtyard alternative courtyard to take advantage of aspect.



FENCING GENERALLY

- Fencing forward of the house must comply with the Front Fencing requirements. Fencing facing a park or secondary frontage must comply with the Secondary Fencing requirements. Fencing not visible from the street should match the standard fence type of the area and finish one metre behind the front wall of your home.

FRONT FENCING – forward of your home is required to be:

- Maximum of 1.2m in height and decorative in style (with the exception of regulation fencing required around pools).
- Decorative fencing is to be constructed of rendered and painted masonry piers or painted or stained posts, with infill panels of coloured metal tube, painted or stained timber palings of horizontal battens. Timbers paling fences will only be accepted if they are painted in a colour which complements the design of the home, and treated with decorative capping or trims and provided with pronounced posts.
- Fencing up to 1.5m in height will be permitted where it is:
 - An open style fence that is 50% transparent; or
 - Is a courtyard wall constructed of face brickwork or masonry piers with coloured render or textured finish; or
 - Is of architectural merit.

SECONDARY FENCING – fronting a secondary frontage or park is required to be:

- Maximum height of 1.8 metres and must be decorative fencing.
- Decorative fencing is to be constructed of rendered and painted masonry piers or painted or stained posts, with infill panels of coloured metal tube, painted or stained timber palings of horizontal battens. Timbers paling fences will only be accepted if they are painted in a colour which complements the design of the home, and treated with decorative capping or trims and provided with pronounced posts.
- Secondary fencing must finish 4 metres behind the front wall of your home.

Retaining Walls

Retaining walls that face the street need to have a positive impact on the quality of the streetscape and ensure car and pedestrian access to and from the block and along the street is safe. Acceptable retaining wall materials are boulders, timber or concrete sleepers and rendered or faced block walls.

- Retaining walls along street or park frontages cannot exceed 1 metre in height in any single step and 1.8 metres in total height. A planted strip of minimum width 500mm must exist between any terraced retaining walls.
- Retaining walls to side boundaries between blocks cannot exceed 1.8 metres high at the front wall of the house and must taper down forward of the house.
- Retaining walls over 900mm high require a 1 metre high fence above the wall and adequate landscape screening.



Ancillary Elements & Structures

Ancillary elements and structures such as air conditioning condensers, wall mounted air conditioning units, satellite dishes, rainwater tanks, sheds and clotheslines should be located so that they are not visible from a street or park frontage.

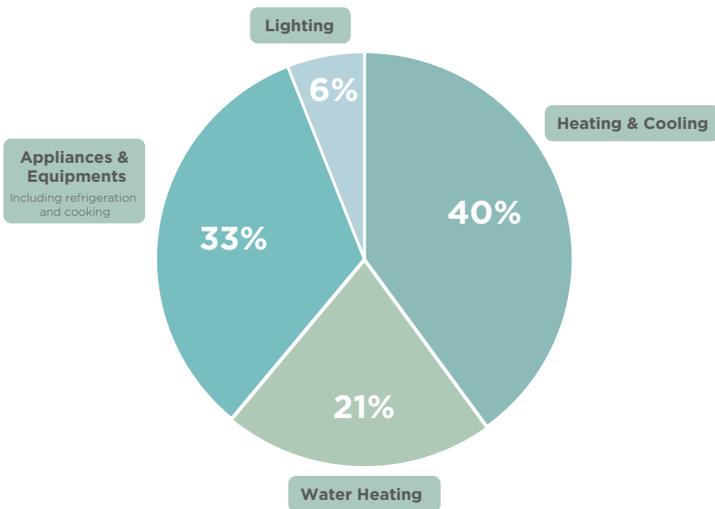
Retaining walls forward of the house must taper on side boundaries:

- A** And must be stepped where they exceed 1 metre high on front boundaries
- B** Side retaining walls above 600mm should be fenced for safety



SMART IDEAS FOR YOUR HOME

This section outlines the optional elements for your home that will assist in reducing your energy bills. Including these features during initial design is more cost effective than retrofitting later. You should talk to your builder about including these money saving ideas in your home.



Graphic showing projected energy use in the residential sector
 Source: DEWHA, 2008 Energy use in the Australian residential sector 1996-2020, data projected energy use for 2012

Heating & Cooling

A home with great natural light and natural ventilation will be easier to heat and cool, more comfortable and cheaper to run. Most of these features can be achieved with little if any extra cost:

- Face key living areas to the north or north east to let in winter sun.
- Shade windows and outdoor areas to protect from the summer sun.
- Keep west and east facing windows small with raised sill heights.
- Place operable windows on either side of your home to capture cooler summer breezes.
- Use reflective and bulk insulation to reflect the sun in summer and hold in heat in winter.
- Use a door to zone off your main living spaces to only heat or cool what you need.



Opportunities for reducing energy bills include:

- | | |
|-------------------|----------------------|
| Heating & cooling | Efficient appliances |
| Solar panels | LED lights |
| Solar hot water | |



Solar Panels

- Solar panels generate electricity from the sun and reduce the need to buy electricity during sunlight hours.
- Solar photovoltaic panels will need to be on the north most side of your roof, as directed by the installer.
- The size of the system should match your day time electricity consumption; 1 – 1.5kW would be sufficient for most homes.

Solar Hot Water

- Solar hot water uses the heat from the sun to provide hot water for your home which reduces energy consumption.
- Solar hot water roof collectors will need to be fixed in accordance with the product specifications.
- The size of the system should be based on the size of your household and hot water needs.



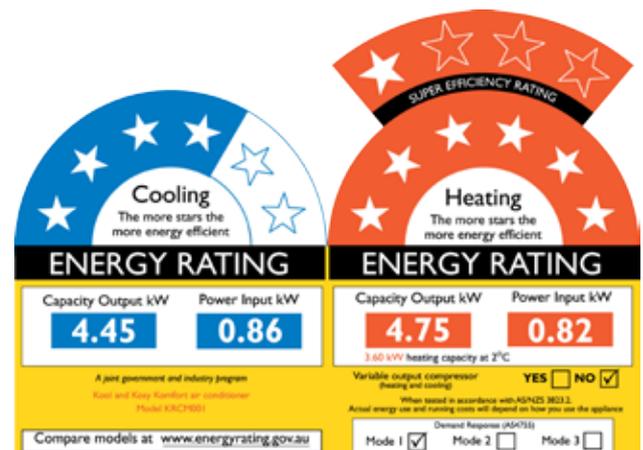
Solar Panels:

Solar photovoltaic panels on the north side of the roof

Efficient Appliances

Energy star ratings assist in comparing the energy efficiency and expected running costs of appliances. Being aware of the energy rating, particularly for the following appliances can help you save later:

- Electric air conditioners with ratings of 2.5 stars or greater.
- Refrigerators with ratings of 3.5 stars or greater.
- Clothes washers with ratings (energy and water efficiency) of 4.5 stars or greater.
- Televisions with ratings of 7 stars or greater.



Appliance energy rating labels:

Being aware of the energy rating can help you save later

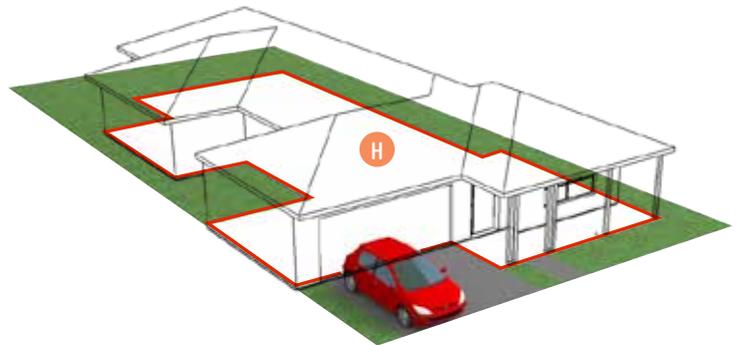
LED lights

LED lights can do the same job as a compact fluorescent globe or halogen globe. LED lights use less energy and typically have a much longer life expectancy than other globes.

GLOSSARY



- A** Front Wall:
the wall of the house closest to the front boundary
- B** Verandah / Balcony:
a covered outdoor area
- C** Garage Setback:
the distance between your property boundary and the garage door
- D** Portico / Porch:
clearly defined roofed entry feature
- E** Articulation:
walls on different setbacks from the property boundary
- F** Build to Boundary Line:
a portion of the house or garage that is built to the side boundary
- G** Pedestrian Path:
a path adjacent to the driveway specifically for pedestrians
- H** Site Cover:
is the area of the footprint of your house expressed as a percentage of your lot area. The footprint of your house includes all ground floor areas measured to the outside walls and also covered verandahs or porches
- I** Gable Roof
- J** Hip Roof
- K** Skillion Roof



I



J



K

DESIGN APPROVAL CHECKLIST

The following information and plans need to be submitted with the Design Approval Form. All plans need to be in the A3 format. These would normally be prepared for you by your builder or architect:

Site plans at 1:200 scale

These plans must show the home you are seeking approval for including:

- Street address and block details
- Site details, including boundary dimensions and bearings, existing contours, setback requirements to all boundaries
- Proposed contours and proposed finished floor levels
- Easements
- Private open space
- North point and scale
- Setbacks to all boundaries
- Building outline and extent of all overhangs
- Driveway width, location and materials, including location of existing layback to kerb
- Height and materials of all fences
- Location and capacity of solar panels and solar hot water system
- Location of any rain water tanks and ancillary structures such as sheds, outbuildings, pergolas gazebos and pools
- Proposed cut and fill and retaining walls including materials to be used and height of walls
- House footprint area and total house internal and covered areas

House plans at 1:100 scale

These plans must include:

- Room names
- Internal and external dimensions
- Location of meter boxes
- Width and type of garage door
- Elevations of all sides of your home
- An indication of existing and proposed levels
- Location and extent of proposed materials and colours
- Location of any elements placed outside the walls or above the roof such as air conditioning condensers, solar panels, aerials and satellite dishes
- Roof pitch, eave width, materials and heights

Material and colour schedule:

- House brick and tile selection where applicable
- House materials and colours
- All information in the Design Approval Form as notated overleaf

Landscape Design at 1:200 scale:

- A landscaping plan for all yard areas visible from any street or park must include paved areas, walls, fences and any planting including information about species, supplied plant size and location

YARRABILBA DESIGN APPROVAL FORM

Allotment Details

Lot Number: _____
 Street Address: _____

 Village: _____

Owner Details

Name: _____
 Mailing Address: _____

 Business hours phone: _____
 After hours phone: _____
 Mobile phone: _____
 Email: _____

Builder Details

Builder Company: _____
 Builder Name: _____
 Builder Contact: _____
 Builder Address: _____

 Postcode: _____
 Business hours phone: _____
 After hours phone: _____
 Builder Contact Mobile: _____
 Builder Contact Email: _____
 Preferred contact,
 Builder or Owner: _____

Building Structure Details

Has this house been modified in any way from the standard
 builders plan for this house type and façade?
 Y, N or Unsure: _____
 Structure Area (m²): _____
 Number of Bedrooms: _____
 Levels / floors: _____
 Wall Material: _____
 Roof Material: _____
 Roof Type: _____
 Number of Garages: _____

NatHERS rating for home: _____
 Rainwater Tank: _____
 Number of Bathrooms: _____
 Number of Living Spaces: _____
 Gas Appliances: _____
 Solar Panel System Size: _____
 Hot Water System Type: _____
 Air Conditioning percent of house: _____
 Air Conditioning Energy Rating: _____
 LED Lighting installed Y or N: _____

Submissions

You can submit your application via email at
yarrabilbadesignsupport@lendlease.com
 or through the Lendlease Builder Hub at
www.lendleasebuilderagenthub.com.au

Alternatively you can submit your plans in person at the Yarrabilba
 Sales Centre or by post to Communities Covenants, Lendlease
 Kingsgate, GPO Box 2777, Brisbane QLD 4001

Please ensure the application form includes:

- Design Approval Checklist
- A3 copy of site plan
- A3 copy of full set of building plans including floor plans, roof plan,
 elevations and landscape plan
- Materials and colour schedule

I/we certify that the information in the attached application is
 a true and accurate representation of the home I/we intend to
 construct. In the event that changes are made to the proposed
 plans, I/we will undertake to re-submit this application for approval
 of any changes.

Name/s: _____

Signed: _____

Date: _____



COMPLIANCE BOND CHECKLIST

In order for Lendlease to release your Compliance Bond, the conditions listed below must be met. Please fill in the form on the back of this page and email it to yarrabilbadesignsupport@lendlease.com or drop it into Yarrabilba Sales Office. An inspection will then be undertaken.

- Lendlease's Design Approval for your home has been obtained no later than 12 months after the settlement of your block of land.
- Construction of your new home and driveway has commenced within 18 months and has been completed within 30 months of the settlement date of your block of land.
- Removal of any construction waste and rectification of damages caused by the construction of your home to adjacent blocks and surrounding public areas (including streets, trees, footpaths, kerbs, nature strips, services and any other public element) has been completed.
- Landscaping to your front garden has been completed no later than 6 months after occupancy of the home.
- Your driveway has been completed in compliance with the requirements in these guidelines.
- At least 50% of your front yard is landscaped with grass and/or garden beds. A significant portion of this area must include gardens with trees and/or shrubs capable of growing to 3 metres tall and be at least 600 mm high at the time of planting. This requirement also applies to publicly visible gardens on a secondary frontage.
- Nature strips and verges that surround your block boundaries are well maintained and established at the time of the Compliance Bond inspection.
- All fencing has been completed according to the fencing requirements listed on page 8 of the Springfield Lakes Home Design Guidelines, within 6 months of occupancy of your home.
- All retaining walls have been completed according to the retaining walls requirements listed on page 9 of the Springfield Lakes Home Design Guidelines, within 6 months of occupancy.





belong at Yarrabilba

yarrabilba.com.au 1800 721 856



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