



DESIGN GUIDELINES

*Residential & landscape
for Captain Rea Release*

(Stage 1)

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I. PURPOSE OF THE DESIGN GUIDELINES

The purpose of the Waterlea Residential and Landscape Design Guidelines is to outline design standards to assist purchasers, architects, designers and builders, and applies to all building work within Waterlea Residential Estate.

The Guidelines are necessary to ensure that all residential development:

- provides a high quality living environment that safeguards the interests of all residents;
- provides a high standard of design and construction that is maintained throughout the development; and
- reinforces the vision and key design principles of the Masterplan.

In this document, references to “the Developer” means the Seller, as shown on the contract to which these guidelines are attached, and includes its legal successors and assigns. “The Buyer” has contracted to purchase land for residential use at Waterlea Residential Estate.

Unless first approved in writing by the Developer, the Buyer must comply with the Design Guidelines set out below in relation to allotments within Stages 1a & 1b of Waterlea Residential Estate, Walloon, Queensland.

I.1 VISION FOR WATERLEA RESIDENTIAL ESTATE

The Vision for Waterlea is to provide a high quality, comfortable, convenient and liveable residential community in a natural landscape setting taking advantage of the region’s natural surroundings and views to nature.

The development of houses, public open spaces and community facilities in Waterlea should be responsive to the environment and sub-tropical climate of South East Queensland. Waterlea connects the community with a focus on outdoor living, life outdoors and connections with nature and the broader community. Waterlea provides a strong network of open spaces including a central linear creek corridor and feature lakes network as a strong community activity area and as focal points to maximise visual amenity, privacy, recreation and the natural bushland setting of the development.

Open and legible street networks, combined with shaded ‘greenway’ links between lots and local destinations, provides safe and comfortable opportunities for an attractive and active outdoor lifestyle community. Located in close proximity to the existing transport infrastructure services and community facilities at Ipswich, Waterlea provides additional parks, sport and recreational and shopping facilities to the broader community.



I.2 HOW TO USE THESE GUIDELINES

These guidelines have been written in the form of a Checklist (from page 7 to 17) and requires the buyer's signature/s at the end of the Checklist. Please tick each box in the Checklist to indicate that you have applied the guideline where appropriate to your lot.

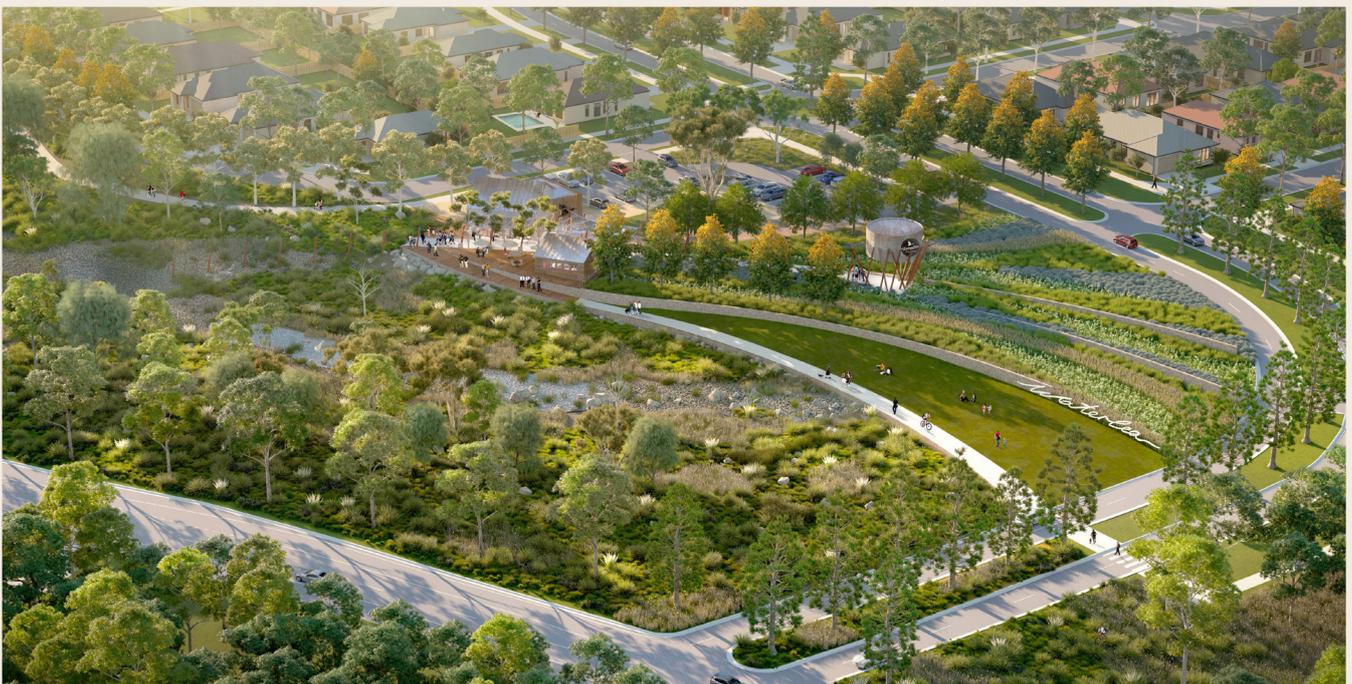
These guidelines provide design standards across all lots including specific requirements for corner or lane access lots. The lots in Stage 1 vary in size from 390sqm to 675sqm.

These guidelines will aid your discussions with your architect or builder and help to gain development approval for your home.

Although these guidelines set a baseline standard for property design, your home must also meet Australian Standards, requirements of the Building Code of Australia and requirements of the Building and Other Legislation Amendment Act 2009 (Act).

The Buyer should also keep in mind that there is other relevant legislation relating to homes and neighbouring properties that is not covered in the guidelines, for example, the Neighbourhood Disputes (Dividing Fences and Trees) Act 2011.

If any term, requirement or condition in these design guidelines (or any part of them) is invalid or unenforceable for any reason (including as a result of the application of any relevant Act) the remaining terms, requirements and conditions will continue to apply and will be valid and enforceable to the fullest extent permitted by law.



2. PLANNING YOUR LIFESTYLE ON YOUR LOT

A Guide to Sub-Tropical Living

A proactive approach toward environmentally responsive design and sub-tropical living is encouraged. Houses can be more comfortable and most cost effective by addressing the local climate and localised site characteristics.

Important characteristics to consider when planning the layout of your home include:

- orientation;
- breezes;
- solar gains and access;
- views;
- access; and
- relationship to adjoining properties.

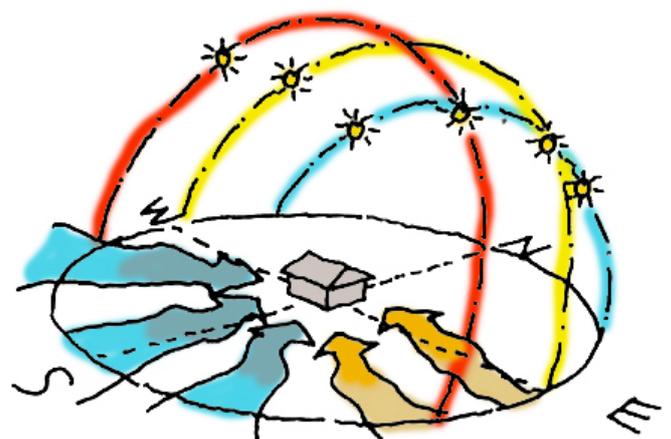
The design of homes in a sub-tropical environment should consider:

- shading that allows solar access in winter and solar protection in summer and operable openings to control breezes;
- the siting and design of buildings to maximise the use of prevailing breezes for natural ventilation so that openings (windows and doors) are located in opposite and adjacent walls where possible to capture of prevailing breezes and cross ventilation;
- building design that incorporates architectural features such as extended eaves, awnings, pergolas and verandahs to protect windows and doorways from summer sun, glare and rain, and to provide shelter to outdoor living areas;
- appropriate insulation and ventilation to the roof, ceilings, walls and floors to prevent heat gain in summer and heat loss in winter;
- building layout and materials chosen to facilitate energy conservation;
- maximising natural lighting to living areas and outdoor spaces by orientating the main living areas to between 30 degrees west to 90 degrees east of due north where possible; and
- the planning of internal areas so that the most used spaces have exposure to winter sun while being protected from the summer sun.

Table 1: Optimum combination of design features to achieve the best results in a sub-tropical climate

SUB-TROPICAL		QLD WIDE
Building Plan		
Building shape	<i>Suited for climate</i>	
Orientation		For solar gain
		For breezes
Ventilation	<i>Heat release</i>	
	<i>Cross ventilation</i>	
Solar access	<i>Vertical shading</i>	Adjustable openings
	<i>Horizontal shading / eaves</i>	
Building materials		
Construction	<i>Combination</i>	Heavyweight
		Lightweight
Colour and texture		Light or shiny
		Dark or rough
Insulation	<i>Reflective</i>	Mass
	<i>Bulk</i>	

Figure 1: Queensland Sun and Breeze Chart for a Sub-Tropical Climate



Adapted from the Queensland Government Department of Public Works 'Smart and Sustainable Homes - Designing for Queensland's Climate'.

3 YOUR HOUSE AS PART OF A GREAT STREET

and a Great Neighbourhood

There are a number of design standards and features that, when applied by all residents, will help to create an identifiable neighbourhood character within Waterlea as well as safeguarding the interests of all residents.

A HANDFUL OF DESIGN GUIDELINES HELP TO ENSURE THAT EACH HOME CREATES A NEIGHBOURHOOD AND SENSE OF COMMUNITY.

There are a number of things which contribute to a great neighbourhood, from each home creates a neighbourhood and a sense of community:

- casual surveillance of parks, streets and community facilities;
- an attractive and pleasant streetscape environment;
- residential amenity and privacy;
- a memorable sense of place and identity;
- a legible and easy to navigate neighbourhood;
- sustainability in the design and construction of homes including renewable energy and sustainable water usage and water sensitive design;
- an identifiable built form;
- a sense of community; and
- supporting an outdoor sub-tropical lifestyle.

The design of homes in a sub-tropical environment should consider:

- building envelope (including site coverage, building setbacks, location of built-to-boundary walls and building height);
- built form and street or park address (including building articulation, roofs, materials, privacy and requirements for lots overlooking more than one street or a park);
- vehicle access and accommodation (including requirements for garages); and
- hard and soft landscaping (including requirements for driveways, fences, letterboxes, private open space, front landscaping, water sensitive urban design, outdoor lighting and establishing a landscape planting design).

3.1 BUILDING ENVELOPE The layout of your home incorporating setbacks helps to protect amenity and privacy and maintain appropriate residential character and visual bulk, while ensuring adequate daylight to dwellings and sunlight to private open space.		Please tick to confirm you have read and applied the design guideline
3.1.1 Site Coverage	<ul style="list-style-type: none"> • Maximum 70% site coverage. 	
3.1.2 Building Setbacks	<ul style="list-style-type: none"> • Front Boundary Setback to Garage - All homes to have a front boundary setback of a minimum 5m to the garage. This ensures any car on the driveway on your property is clear of the verge and pedestrian footpath. 	
	<ul style="list-style-type: none"> • Front Boundary Setback to Front Building Line / dwelling wall is 6m. 	
	<ul style="list-style-type: none"> • Front Setback to any Front Verandah/Patio - Homes on a collector or access street have a 4.0m setback to any front verandah, 3.0m for a house on an access place. 	
	<ul style="list-style-type: none"> • The overall front setback requirements create a building articulation zone of up to 2m for lots located on a collector or access street. 	
	<ul style="list-style-type: none"> • Rear Setback - A minimum 0.9m rear setback to all dwelling wall, with 1.5m side setback to the first level of the home. 	
	<ul style="list-style-type: none"> • Side Setbacks - A minimum 0.9m side setback is required for a non-boundary wall, with 1.5m side setback to the first level of the home. 	
	<ul style="list-style-type: none"> • Eaves should not encroach 450mm to side boundaries other than zero lot. 	
	<ul style="list-style-type: none"> • Corner lot truncation to be reduced as much as possible subject to approval by Ipswich City Council. No building or structure over 2m high is to be built within a 9m by 9m truncation at the corner of the two road frontages. 	
3.1.3 Built to Boundary Walls	<ul style="list-style-type: none"> • Built to boundary walls must be indicated on the Plan of Development. 	
	<ul style="list-style-type: none"> • Built to boundary walls must not exceed 15m or 50% of the boundary length without approval of the project architect. 	
	<ul style="list-style-type: none"> • It is preferred but optional that garages be built to boundary walls on one side of the lot, with the preferred side determined from engineering plans and the identified Plan of Development. 	
3.1.4 Building Height	<ul style="list-style-type: none"> • Not more than 2 storeys 	

3.2 BUILT FORM AND STREET/PARK ADDRESS

To foster a sense of community and a sense of place, all houses are required to address their street and/or park frontage and contribute to the architectural character of the street and neighbourhood as a whole through the following design features. Variation in building form and roofs as well as responding to climate creates visual interest and an attractive and well designed streetscape.

Please tick to confirm you have read and applied the design guideline

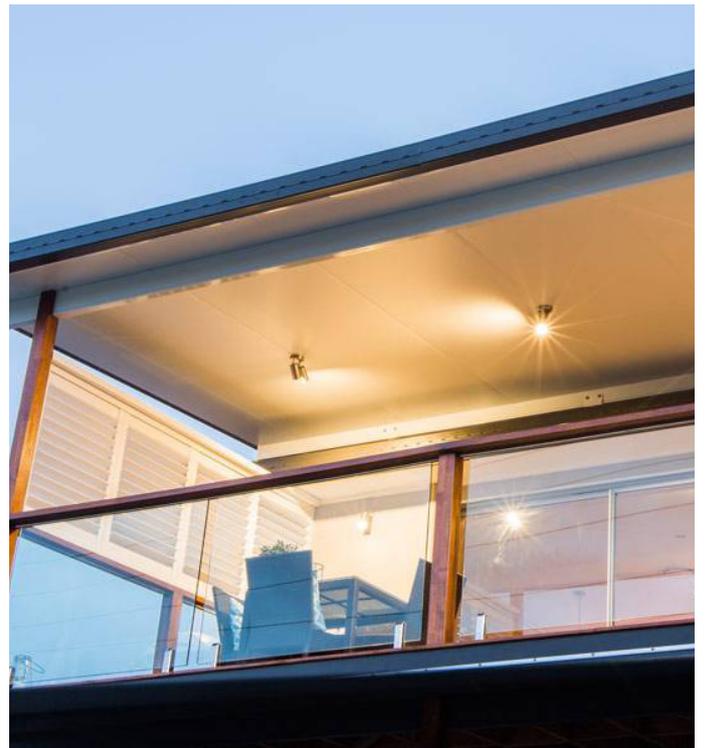
<p>3.2.1 Building Articulation</p>	<ul style="list-style-type: none"> • All houses are to address the street or park frontages, or two street frontages for a corner lot, rather than being aligned at right angles or diagonal to the street. 	
	<ul style="list-style-type: none"> • Face brick used in the building facade is to be no more than 50% of total facade coverage on the front of the home. 	
	<ul style="list-style-type: none"> • If your home has 100% render, a minimum of two complimentary materials or colours are requested on the front façade. 	
	<ul style="list-style-type: none"> • Hardiplank, shingles, corrugated profile wall cladding, double height bricks as feature tiles are not permitted for building facades. 	
	<ul style="list-style-type: none"> • Natural or grey mortar will not be acceptable as a feature brick facades. 	
	<ul style="list-style-type: none"> • Façade finishes must continue back 600mm around the corner of the home to meet the feneline. 	
	<ul style="list-style-type: none"> • Garages should be compatible with the main building design in terms of height, roof form, detailing, materials and colours. 	
	<ul style="list-style-type: none"> • All buildings incorporate two or more of the following design elements to provide diversity in building form as well as respond to climate: verandahs, roof overhangs, window hoods/screens, awnings and shade structures. 	
<p>3.2.2 Roofs</p>	<ul style="list-style-type: none"> • Concrete tiling is not permitted for roofs. 	
	<ul style="list-style-type: none"> • Roofs must be colour bond or flat roof tiling. 	
	<ul style="list-style-type: none"> • Eaves with a minimum width of 450mm are provided to the exterior of all homes. Eaves should not encroach 450mm to side boundaries other than zero lot. 	
	<ul style="list-style-type: none"> • For Skillion Roofs, a minimum pitch of 12.5 degrees is required. For Hip Roofs, a minimum 20 degrees is required. 	
<p>3.2.3 Materials</p>	<ul style="list-style-type: none"> • External materials are high quality, attractive, durable and need minimal maintenance. 	
	<ul style="list-style-type: none"> • The use of highly reflective materials in facades or on roofs (eg. unpainted zincalume) is avoided. 	



Example colour bond roofing, minimum two colour facade, building articulation and defined entry



Homes addressing the street



Balconies overlooking parkland areas providing casual surveillance, views and direct overlooking minimised with the use of screening devices

<p>3.2.4 Privacy</p>	<ul style="list-style-type: none"> • Direct overlooking of main internal living areas of other dwellings is minimised by building layout, location of entrances, location and design of windows and balconies, screening devices and landscaping or by physical separation. A minimum 9m separation is required at ground level or 12m separation above the first floor level is provided between the windows of habitable rooms of facing dwellings, unless screening is provided. 	
	<ul style="list-style-type: none"> • Where screening is required, it is provided by solid opaque screens or perforated panels or trellises that are permanent and have a maximum of 50% openings or windows have a minimum sill height of 1.5m or opaque glass is used. 	
<p>3.2.5 Street and Park Address including lots overlooking more than one street</p>	<ul style="list-style-type: none"> • Lots overlooking dedicated open spaces and streets need to assist with community safety by enabling casual surveillance of the park by residents. This can be generally achieved, with as much as practical, the habitable parts of the building located toward the street. For example, habitable rooms of homes that are located near the street frontage or are oriented toward the street, have verandahs or balconies adjoining or oriented to the street. 	
	<ul style="list-style-type: none"> • Lots overlooking more than one street (corner lots) should ensure an attractive appearance that addresses both street frontages through the inclusion of, for example, verandahs, porches, awning and shade structures, variation to roof and building lines, inclusion of window openings and use of varying building materials. 	
	<ul style="list-style-type: none"> • No blank walls are permitted along street frontages. 	
	<ul style="list-style-type: none"> • Building entries should enhance the street frontage by including any of the following: a well defined sense of entry, a highly visible front door, incorporation of front verandahs/balconies and porches and decorative front fences and entry gates, clearly defined elements such as a direct path, separate covered area and habitable room for passive surveillance. The size of an entrance should be of an appropriate scale and presence on the street with the use of high quality materials and high levels of detailing around the entrance. 	

3.3 VEHICLE ACCESS AND ACCOMMODATION		Please tick to confirm you have read and applied the design guideline
3.3.1 Number of vehicles to be accommodated	<ul style="list-style-type: none"> • Adequate provision for the accommodation of at least two (2) motor vehicles that are attached to the dwelling is required. 	
	<ul style="list-style-type: none"> • Each unit in a duplex / dual occupancy must provide accommodation for at least one motor vehicle. 	
3.3.2 Additional vehicles or trailers	<ul style="list-style-type: none"> • Any caravan, boat, trailer or unregistered vehicles stored or parked on the Land or Street (if same is not housed in a garage or outbuilding) must be stored or parked at rear of the dwelling house or must be screened so that they are not visible from the street. 	
3.3.3 Carports and Garages	<ul style="list-style-type: none"> • No carports are permitted. 	
	<ul style="list-style-type: none"> • Garage setback to be a minimum 5m from front boundary. 	
	<ul style="list-style-type: none"> • Garages may be built to boundary wall, on one side of the lot only, with the preferred side determined from engineering plans and the identified Plan of Development. 	
	<ul style="list-style-type: none"> • Colour bond sheds are to be located at the rear of the dwelling. 	
	<ul style="list-style-type: none"> • Garages are not to dominate the street and must compliment the building design. 	
3.4 OTHER MATTERS		Please tick to confirm you have read and applied the design guideline
3.4.1 Restrictions on Relocated Homes	<ul style="list-style-type: none"> • The Developer encourages the construction of new dwellings within the estate. No relocatable or factory built dwellings are permitted within Walloon Station Estate. No homes that have been previously erected, or attached to other land are to be erected, relocated or placed on land within the Estate. 	
3.4.2 Garbage and Wheelie Bins	<ul style="list-style-type: none"> • Garbage and wheelie bins are to be stored behind front fences or screened from street view. 	
3.4.3 Pets	<ul style="list-style-type: none"> • Animals, poultry or other livestock are not to be kept or maintained on the land except for domestic pets in accordance with the Ipswich City Council by-laws. 	

4. LANDSCAPING

A Guide to Sub-Tropical Living

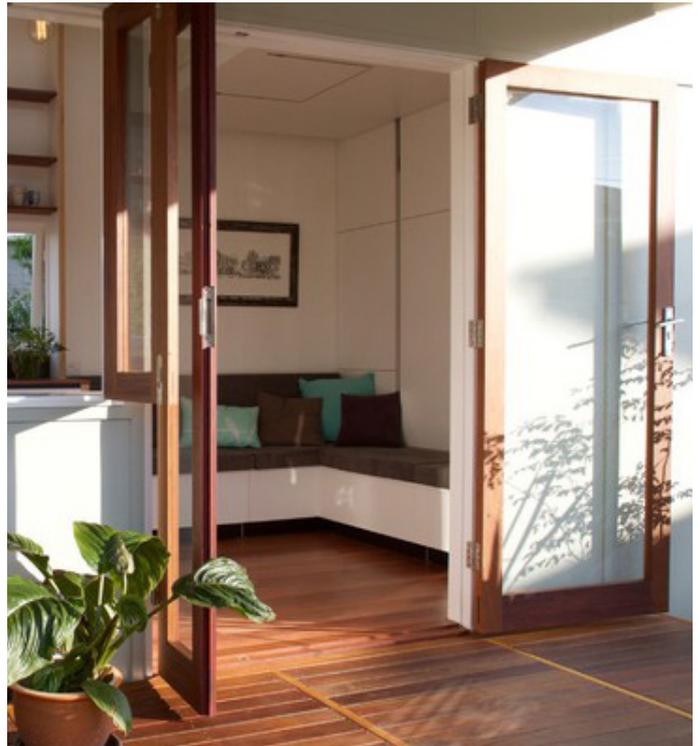
4 HARD AND SOFT LANDSCAPING		Please tick to confirm you have read and applied the design guideline
4.1 Driveways	• Concrete driveways and pathways are to be finished using either exposed aggregate or coloured concrete.	
	• Two track driveways are not permitted.	
	• Driveways are to be setback 6m from a street intersection.	
	• The visual impact of driveways is reduced through the above mentioned treatments and also through limiting the width, especially where the driveway crosses the verge and pedestrian footpath.	
4.2 Fences	• Any front facing fencing must be a minimum 1200mm up to 1800mm in height and be a minimum painted or stained posts with stained timber palings or horizontal battens. The fence must be painted in a colour which compliments the colour of the house. (This applies to corner blocks also)	
	• Front facing fencing must be located 600mm behind the façade of the side the fence is on.	
	• Side and rear boundary fencing between properties must be continuous (no gaps or transparency) and may be up to 1800mm high.	
	• Galvanised iron or silver zincalume is not to be used as a fencing material.	
	• Front facing fences and walls where provided should be aesthetically pleasing while not reducing the surveillance of the street.	
	• Fences do not exceed 10m in length without some form of articulation or detailing, (ie. a gateway or recessed garden) to provide visual interest), particularly on corner lots.	
	• Fences, screens, retaining walls and other structures are not more than 1m high with a truncation made by 3 equal chords of a 6m radius curve at the corner of the 2 road frontages.	



Example complimentary letterbox design



Your driveway can extend the aesthetic of your home to the street

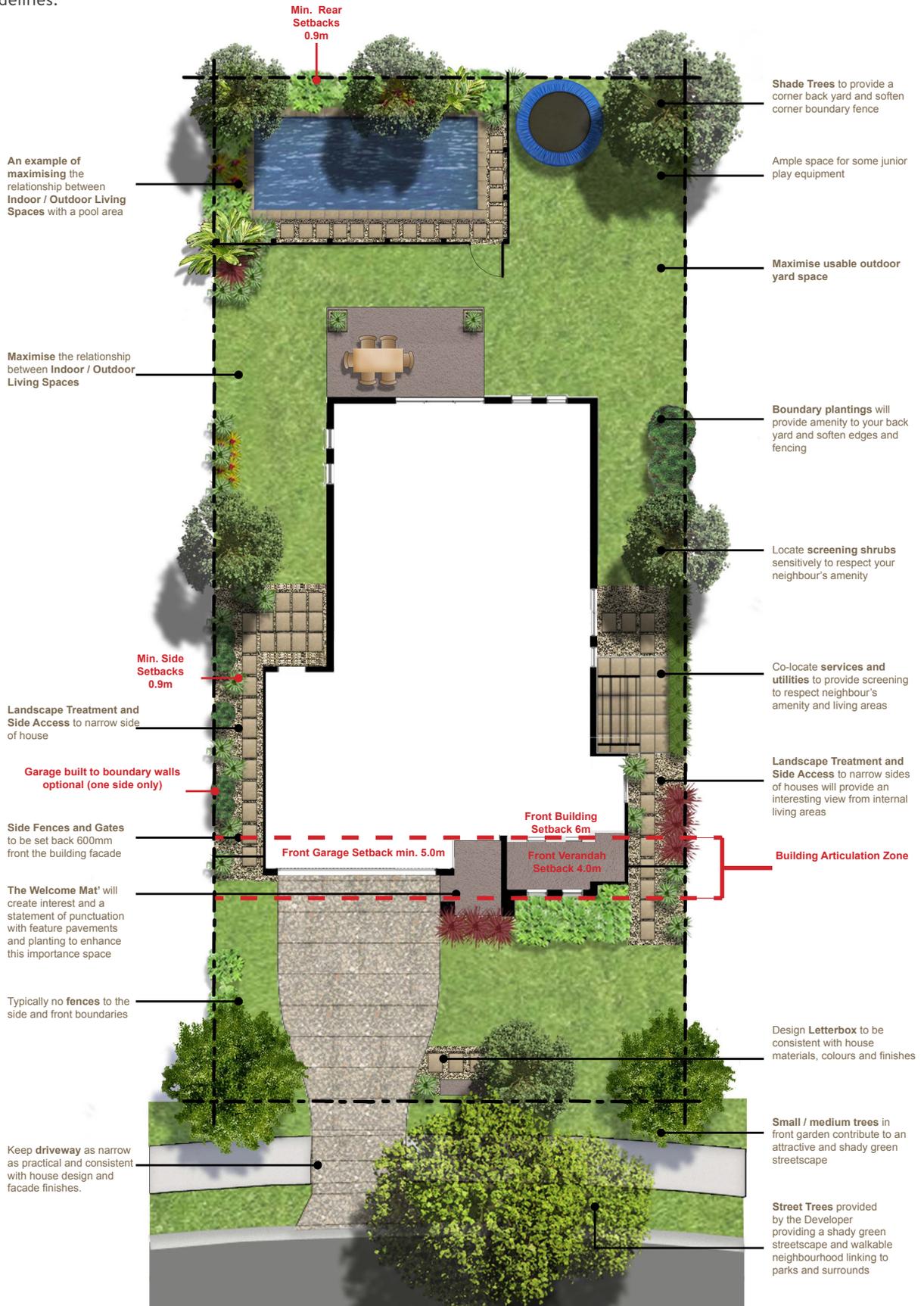


Living areas and private open space areas at ground level receive adequate sunlight

4.3 Letterboxes	<ul style="list-style-type: none"> • Pole letterboxes not permitted. 	
	<ul style="list-style-type: none"> • Letterboxes should be compliment the building and landscape design. Building identification and numbering is to be prominent so as to be easily identified. 	
4.4 Private open space	<ul style="list-style-type: none"> • Homes with private recreation space at ground level provide a principal area of 16sqm, a minimum dimension of 4m, an orientation between 30 degrees west to 90 degrees east of due north where possible. 	
	<ul style="list-style-type: none"> • Homes with the main private recreation space above ground level provide a minimum area of 8sqm, minimum dimension of 2.4m, an orientation between 30 degrees west or 90 degrees east of due north where possible, direct access from living area. 	
	<ul style="list-style-type: none"> • Active recreation facilities including swimming pools, spas, barbeque areas, air conditioning which create high noise levels, are located away from habitable rooms in nearby dwellings or are enclosed or otherwise acoustically treated. 	
	<ul style="list-style-type: none"> • All ground level, private recreation space areas on the site are capable of receiving sunlight for a minimum of 4 hours on 21 June, where possible. 	
	<ul style="list-style-type: none"> • Recreation space does not include area used for clothes drying, hot water systems, air conditioning units, water tanks, storage, carparking, driveways, refuse storage and the like. 	
	<ul style="list-style-type: none"> • Front landscaping must be completed within 3 months of completion. 	
4.5 Front landscaping	<ul style="list-style-type: none"> • The Buyer must turf the front yard and nature strip of the property prior to occupancy of the property. 	
	<ul style="list-style-type: none"> • To compliment the Water Sensitive Design principles being utilised for the entire masterplanned development, the Buyer must incorporate water-saving features and fixtures and selection of plant species that are suited to the local climate. 	
4.6 Water sensitive design	<ul style="list-style-type: none"> • Where practical, the Buyer must also maximise natural drainage by providing impervious areas of the garden or through the use of impervious materials for pathways and outdoor areas. 	
	<ul style="list-style-type: none"> • Outdoor lighting is not to be directed onto nearby properties, is downward directed, appropriately placed to avoid shadows and glare, is provided for entry ways, includes point to point lighting for pedestrian walkways and is appropriately shielded at its source. 	
4.7 Outdoor lighting	<ul style="list-style-type: none"> • Establishing a landscape plan and/or planting design helps to reinforce the overall concept for your home layout, concerning its response to local climate, optimising shading, screening, ventilation, natural drainage and security, and of course, its overall attractiveness and reinforcement of the natural landscape setting of the Estate. Plant species are to express and capture the local environment and character. Establishing a plan for landscaping can assist in cost-effective maintenance and avoids damage to building foundations or underground utility services. 	
4.8 Establishing a landscape planting design		

Example Residential and Landscape Design

The diagram below summarizes the key residential and landscape design guidelines.



5 GENERAL REQUIREMENTS		Please tick to confirm you have read and applied the design guideline
5.1 Building commencement	• Construction is to commence within 6 months of plan registrations.	
	• As stated in Section 4.5, front landscaping must be completed within 3 months.	
5.2 Bond requirements	• Subject to other paragraphs of this annexure, the Buyer must ensure that the dwelling house or other improvements are not left without substantial work being carried out for a period longer than three (3) months at the time of construction.	
	• The Buyer must not allow rubbish (including site excavations and building materials) to accumulate on the lot or on adjoining land. If this occurs the Buyer is liable for the expense involved in the removal of that rubbish.	
	• The Buyer must pay to the Developer on demand the reasonable costs of removal of rubbish incurred by the Developer if the Buyer breaches this requirement.	
	• Builder's site bins are compulsory during any construction period.	
	• Builder's plans demonstrating adherence to the design guidelines must be approved by the project architect (TRACT Consultants).	
	• Builder's construction must be in line with the plans approved by the project architect.	
5.3 Developer works	• Where the Developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner of the land on which it is erected to the standard to which it was originally constructed.	

6 DEVELOPER		Please tick to confirm you have read and applied the design guideline
<p>The Developer is developing a residential development, the objective of which is to create a well designed and constructed residential estate. It is desirable and in the interests of all persons who purchase land in the estate to control the quality of residential homes and to protect and maintain the surrounding environment.</p>		
6.1 Developer rights	<ul style="list-style-type: none"> The Developer has the right to vary, exclude or elect not to enforce any of these design guidelines in respect to any land within the estate. The Buyer specifically absolves the Developer from any liability whatsoever for any action taken in varying, electing not to enforce or excluding any design guidelines. 	
	<ul style="list-style-type: none"> The Buyer acknowledges that the Developer undertakes no legal obligation to enforce these design guidelines against any other buyer of land at Waterlea Residential Estate. 	
	<ul style="list-style-type: none"> The Buyer agrees that he/she/they will not take legal action against the Developer in respect of any alleged breach of any design guideline which appears in this document by any other person who owns land in the Waterlea Residential Estate. 	
6.2 Document intent	<ul style="list-style-type: none"> The Buyer acknowledges that these design guidelines are not intended to create any legal duty enforceable against the Developer or a third party pursuant to Section 55 of the Property Law Act 1974 (as amended). 	
	<ul style="list-style-type: none"> Unless first approved in writing by the Developer, an owner of a lot must comply with the design guidelines set out below in relation to allotments within Stages 1a & 1b of Waterlea Residential Estate. 	

I / We acknowledge that I/We have read and understand the Design Guidelines as set in this document applying to Stage 1 of the development.

Buyer(s) Signature

Buyer(s) Signature



waterlea.com.au
1800 99 67 52