

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

(Dealing No.)

5. Lodged by

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

+/We ORION REAL SOLUTIONS PTY LTD
A.C.N. 608 998 036
TRUSTEE UNDER INSTRUMENT 717265381

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

~~* as Lessees of this land agree to this plan~~

Signature of *Registered Owners *Lessees



MARCELO GULMAN

SOLE DIRECTOR

ORION REAL SOLUTIONS PTY LTD

ACN 608 998 036

* Rule out whichever is inapplicable

2. Planning Body Approval.

* BRISBANE CITY COUNCIL

hereby approves this plan in accordance with the :

% SUSTAINABLE PLANNING ACT 2009

Dated this 5th day of January 2017

Honorable
LIZ HOLYOAKE #
(Delegate) #

* Insert the name of the Planning Body.

Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :

Name :

4. References :

Dept File :

Local Govt :

Surveyor : 16165

6. Existing

Created

Title Reference	Description	New Lots	Road	Secondary Interest
12377191	Lot 7 on RP63708	7 & 8	—	—
12377191	Lot 8 on RP63708	7 & 8	—	—

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
717265382	7 & 8	—

Notification issued to the owner(s) of Lot 79 on RP61618, Lot 5 on RP63708 & Lots 7 & 8 on SDP293001 on 6/12/2016, in accordance with s.18 of the Survey and Mapping Infrastructure Regulation 2014.

Development Approval :

9. Building Format Plans only.

I certify that :

* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.

~~* Part of the building shown on this plan encroaches onto adjoining lots and road.~~

Cadastral Surveyor/Director * Date

~~delete words not required~~

7 & 8 Por.121

Lots Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By : Ken McDonald

Date : 7/12/16 23/12/16

Signed : [Signature]

Designation : Cadastral Surveyor

10. Lodgement Fees :

Survey Deposit \$

Lodgement \$

..... New Titles \$

Photocopy \$

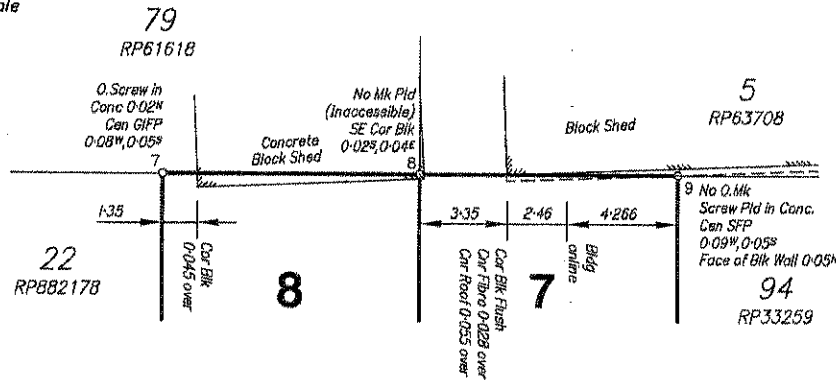
Postage \$

TOTAL \$

11. Insert Plan Number

SP293001

DIAG. A
Not to Scale



REFERENCE		MARKS		
STN	TO	BRG	DIST	ORIGIN
1	OIP (new ref)	91°50'	0-602	RP130520
2	Nail in Conc	112°57'30"	4-178	
3	O.Screw in Conc	179°08'	5-761	IS84763
4	OIP gone	180°0'	0-604	RP63708
4	Screw in Kerb	182°52'	6-07	
5	Nail in Kerb Fd	193°07'40"	14-491	
6	OIP	180°0'	1-0	RP882178
6	Nail in Kerb Fd	183°41'30"	6-048	
10	OIP (new ref)	354°07'	0-606	Vide RP130520
10	Screw in Kerb Fd.	85°47'	5-748	
10	Nail in Kerb	355°41'	15-25	
11	OIP (new ref)	3°55'40"	0-604	Vide RP130520
12	OIP	0°0'	0-604	RP63708
12	Screw in Kerb	8°53'30"	14-278	
14	OIP	180°0'	0-604	Vide RP70009
14	O.Screw	175°27'	5-985	IS164675
15	O.Nail in Kerb gone	223°18'	8-344	RP882178
16	O.Nail in Conc	246°12'05"	2-826	SP168875

PERMANENT MARKS				
PM	BRG	DIST	No.	ORIGIN
3-OPM gone	95°40'30"	45-474	155196	SP168875

REINSTATEMENT REPORT

- Joffre St alignment fixed by original marks at Stn's 3, 6 & 16. Good agreement with previous plans surveyed between these marks. Deed distance measured & maintained between stn's 6 & 16. Excess of 0-132m measured between stn's 3 & 6 which is in close agreement with previous plans.
- Stn 2 was established by producing deed distance from 3 along line 16-3.
- Stn 1 was initially fixed by the OIP placed by RP130520. Also adopted by RP882178 & IS84763 as fixing the eastern end of our rear boundary alignment. The resultant bearing & distance from stn 2 agreed with original dimensions, therefore further confirming the fix of stn 2 at deed distance from 3.
- The southern alignment of Radius Street is fixed by original marks at stn's 12 & 14. The connection across Radius street from stn 13-14 was adopted from previous plans (originally measured on RP70009). This resulted in a parallel relationship being surveyed & maintained with line 3-16. Distance 12-13 was consistent with the distance shown on IS164675 (within 5mm).
- The perpendicular distance between these two lines (Joffre & Radius St's) was measured to be 80-434m, the result being 34mm of shortage compared to original.
- This shortage was consistent with that shown & measured on SP168875.
- Upon examination of SP168875 it is obvious the shortage between Joffre & Radius Streets had been simply proportioned.
- Upon closer examination of RP130520 it became apparent that the intention was to take deed depth from Joffre street & leave 18mm (0-09)links shortage in the blocks to the north. When considering this, I also noted that originally (prior to amendment) RP130520 had measured/taken 36mm of shortage from Joffre Street to the rear alignment & left a further 18mm shortage to the north to Radius St. This had been corrected by strike out & deed was subsequently taken for the depth of the subject lots, the iron pin placed on the production of the rear alignment was referenced 18mm south, and the alignment of Radius Street at the intersection was moved 36mm to the north so the measured 18mm of shortage was maintained in the distance to Radius Street however deed was measured for the subject parcels. I considered taking deed from Joffre & leaving shortage to the north as per RP130520, however by proportioning this shortage in depth between the two street alignments we are leaving the same shortage to the north as shown on RP130520, we are also lessening the encroachments of the block sheds adjacent to the rear of the parcel. As a result the OIP at Stn 1 was re-referenced 18mm to the north maintaining the same offset from the Wynnum North Alignment.
- The O.Screw at Stn 7 placed on RP882178 measured deed bearing & distance from stn 6 which had been fixed by the OIP.
- RP882178 appears to have measured deed distance between Joffre & Radius Street. Therefore they have taken deed depth. By proportioning the shortage we measured we have now reference the O.Screw at stn 7 as 0-02 north.
- There were also two OIP's along Radius Street shown on RP130520 which had been struck out with no explanation, an extensive search could not determine the origin of these marks, however they were found & surveyed as part of our survey. Their surveyed position was consistent with the alignment of both Wynnum North Road & also Radius Street.
- The OIP at stn 10 was found to be on line when produced from line 1-2 & at a 3 link (0-604m) offset from line 12-13.
- The OIP at stn 11 was also found to be on a 3 link (0-604m) offset. It must be noted that stn 11 has not been reinstated & is simply positioned along line 10-13 by occupation. Whilst the OIP is on a consistent offset for the radius street alignment, this reference does not fix the boundary between lot 2 on RP61449 & Lot 84 on RP33259. Further investigation not relevant to our reinstatement would be required to accurately position this intersection of boundaries.
- With excess of 132mm lying between stn's 3-6, stn 5 was fixed by adopting the original relationships with the OIP at stn 12 (Placed on our subject plan). Stn 5 was fixed by intersecting a line at 0°0' from the OIP onto the Joffre St alignment resulting in 55mm excess to the west of stn 5 & 77mm excess to the east of stn 5.
- The 55mm was left across the frontage of the subject Lot 8, the 77mm of excess was proportioned between stns 5-3 resulting in 18mm of excess in Lot 7.
- Occupation at stn 4 was brought closer to the boundary alignment by taking the 73mm of excess across our combined frontage described above.
- All adjoining lots to the west were left with their deed width entitlements, Lots to the east shared excess, and or deed in width.
- The lots to the rear fronting radius Street were left with 17mm of shortage in depth after the shortage was proportioned.
- An alternative solution was to take deed depth from Joffre St & sit on RP882178, RP130520 & IS84763, however this would have increased the encroachments and was not giving the adjolders fair & equitable consideration with the reinstatement.

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Insert Plan Number **SP293001**